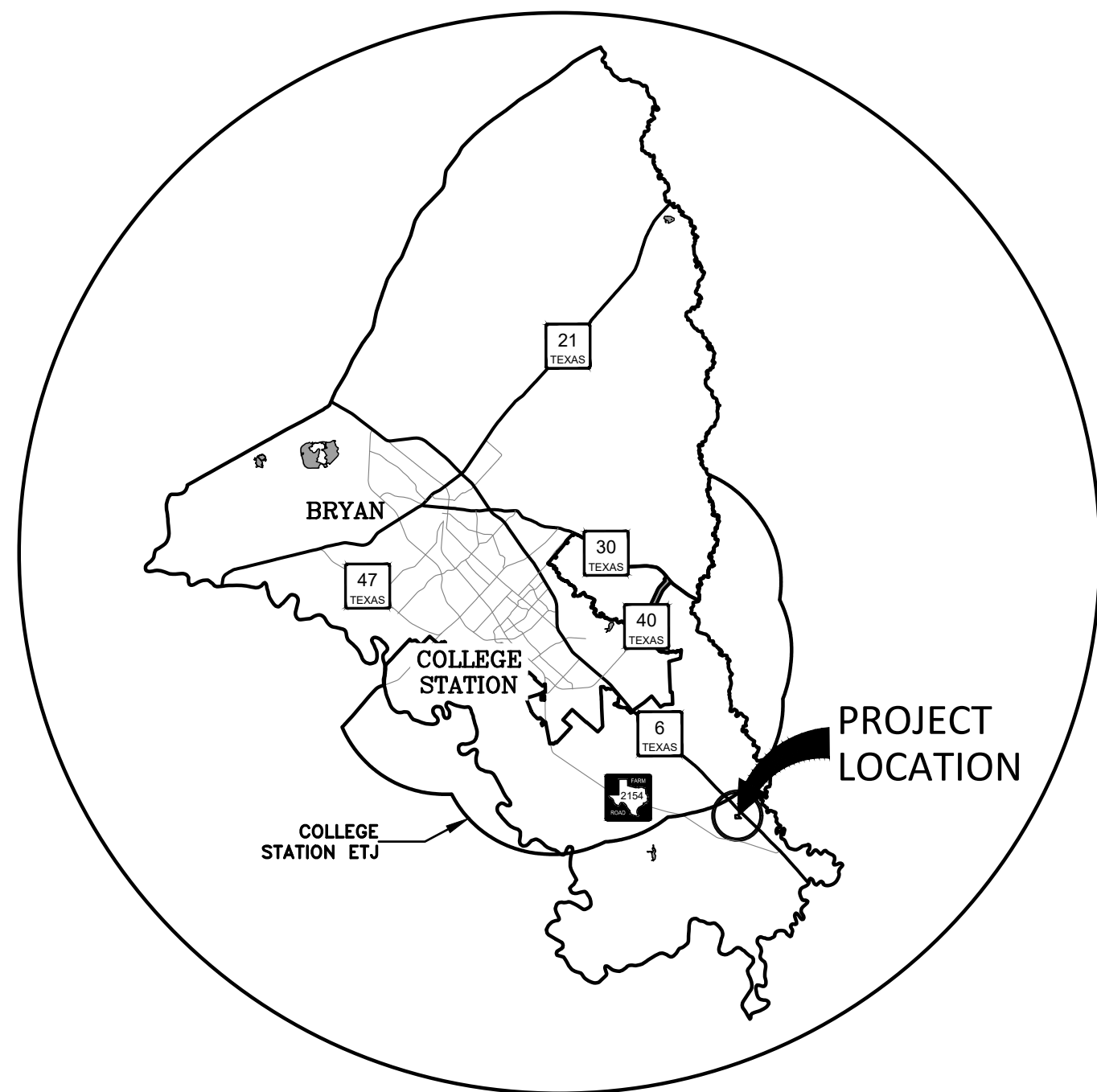
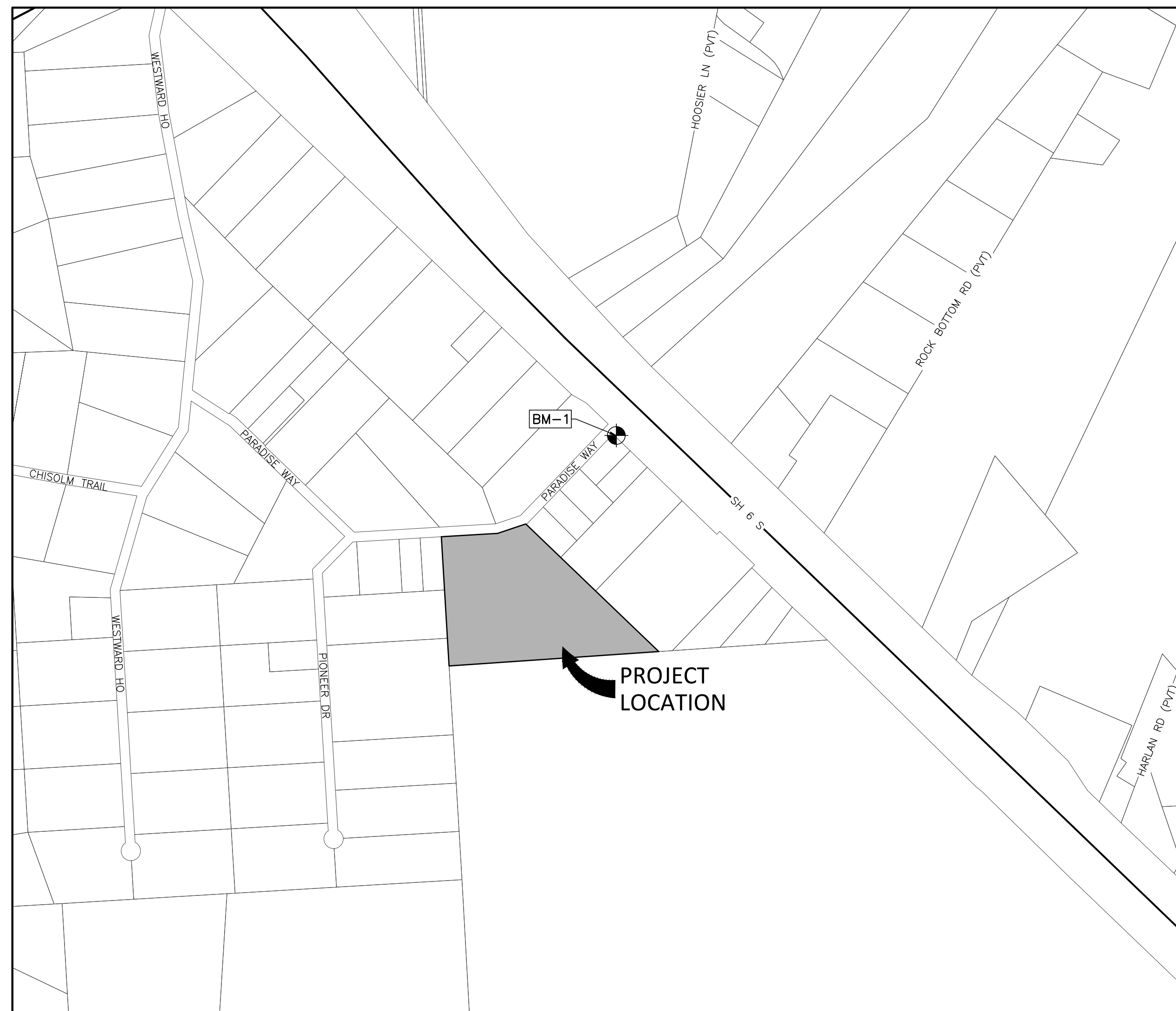


# INFRASTRUCTURE DEVELOPMENT PLAN FOR PARADISE WAY MOBILE HOME PARK BRAZOS COUNTY, TX NOVEMBER 2024



**VICINITY MAP**  
SCALE : NONE  
BRAZOS COUNTY



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**48 HOUR NOTICE:**  
CONTRACTOR SHALL NOTIFY BRAZOS COUNTY PRIOR TO COMMENCING CONSTRUCTION AND/OR BACKFILLING ANY UTILITIES. CONTRACTOR(S) TO CONTACT:  
PRARTHANA BANERJI, P.E., COUNTY ENGINEER @ (979-822-2127) OR (PBANERJI@BRAZOSCOUNTYTX.GOV)  
DERALD YOUNG, MIDSOUTH SYNERGY @ (214-673-5779) OR DYOUNG@MIDSOUTHSYNERGY.COM  
CAMPBELL YOUNG, WELLBORN WATER @ (979-676-7979) OR CYOUNG@WELLBORNSUD.COM

LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS SHOWN HEREIN ARE PROVIDED BY OTHERS. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTION POINTS PRIOR TO ANY TRENCHING OR EXCAVATION OPERATIONS. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE PLANS & SPECIFICATIONS FOR THIS PROJECT, ANY ITEMS THAT ARE NOT DETAILED OR SPECIFICALLY ADDRESSED SHALL BE PER BRAZOS COUNTY INFRASTRUCTURE REQUIREMENTS FOR MANUFACTURED HOME RENTAL COMMUNITIES, LATEST EDITION. SPECIFICATIONS CAN BE OBTAINED AT BRAZOS COUNTY ROAD AND BRIDGE DEPARTMENT TELEPHONE NO. (979) 822-2127

THIS PROJECT WAS REVIEWED BY EDDIE HARE, RAS 0008, AND WAS FOUND TO BE IN COMPLIANCE WITH TAS REQUIREMENTS (TABS No. 2024022426). AFTER COMPLETION OF CONSTRUCTION, THE PROJECT MUST BE INSPECTED WITHIN 30 DAYS. CONTACT EDDIE HARE FOR INSPECTION AT EHARE@EDDIEHARE.COM OR 979-775-6850.

**BM LOCATION:**  
BM-1 = CHISELED SQUARE (□) IN HEADWALL ON THE SOUTH CORNER OF THE INTERSECTION OF PARADISE WAY AND SH 6. ELEV: 245.00'

**FLOOD PLAIN:** THIS PROJECT DOES NOT LIE WITHIN THE 100 YEAR FLOOD PLAIN ACCORDING TO FEMA MAP PANEL NO. 400, COMMUNITY MAP PANEL NO.48041C0400E, BRAZOS COUNTY, TEXAS EFFECTIVE DATE MAY 16, 2012.

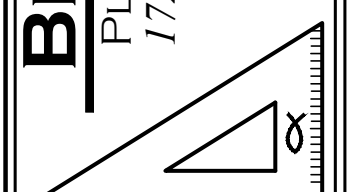
LOCATION OF EXISTING IMPROVEMENTS SHOWN HEREIN ARE TIED TO THE NAD83 TEXAS STATE PLANES, CENTRAL ZONE, US FOOT COORDINATE SYSTEM. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES AT ALL CROSSINGS AND CONNECTION POINTS PRIOR TO ANY TRENCHING OR EXCAVATION OPERATIONS. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE ENGINEER.

PREPARED FOR:

PURE STRIKE DEVELOPMENT  
LP & B&T REALTY  
P. O. BOX 10421  
COLLEGE STATION, TX 77842

**BLEYL ENGINEERING**

PLANNING • DESIGN • MANAGEMENT  
1722 Broadmoor, Suite 210, Bryan Tx 77802  
Texas Firm Registration No. F-678  
Tel. 979-268-1125 Fax 979-260-3849  
www.bleylengineering.com



AUSTIN BRYAN CONROE HOUSTON

**COVER**  
**PARADISE WAY MOBILE HOME PARK**  
LOT 6 AND 7, 7-11 RANCH, PHASE 1  
1100 PARADISE WAY  
BRAZOS COUNTY



DESIGN: KMS  
CAD: KMS RVW: TOW  
PROJECT NO: 13118  
SHEET: 1 OF: 27

STANDARD NOTES

- 1. TOPOGRAPHIC SURVEY WAS PERFORMED BY McLURE & BROWNE ENGINEERING/SURVEYING, INC. ON APRIL 8, 2022 AND APRIL 15, 2024. ELEVATIONS FOR TEMPORARY BENCHMARKS (TBMS) SHOWN ON THESE PLANS SHALL BE VERIFIED FOR CONSISTENCY AND PRECISION BETWEEN TBMS FOR EACH SITE.
2. A GEOTECHNICAL INVESTIGATION WAS PERFORMED BY DUDLEY ENGINEERING DATED 03/25/2024. CONTRACTOR SHALL ADHERE TO GEOTECHNICAL REPORT DURING CONSTRUCTION.
...
36. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND DETERMINE THE DEPTH, LOCATION, ELEVATION, ALIGNMENT AND EXISTENCE OF ALL SURFACE OR UNDERGROUND UTILITIES AND STRUCTURES IN AND AROUND THE VICINITY OF THE WORK TO BE PERFORMED PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY

GRADING NOTES

- 1. GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE STARTING CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
2. BEFORE STARTING CONSTRUCTION, CONTRACTOR SHALL VERIFY BENCHMARK ELEVATION AND NOTIFY ENGINEER IF ANY DISCREPANCY AND/OR CONFLICT IS FOUND.
...
36. THE CONTRACTOR SHALL KEEP WATER PIPE CLEAN AND CAPPED (OR OTHERWISE EFFECTIVELY COVERED) OPEN PIPE ENDS TO EXCLUDE INSECTS, ANIMALS OR OTHER SOURCES OF CONTAMINATION FROM UNFINISHED PIPE LINES AT TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.

PAVING NOTES

- 1. ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAVE BEEN BARED BY CONSTRUCTION SHALL BE ADEQUATELY BLOCk SODDED OR HYDROMULCHED AND WATERED UNTIL GROWTH IS ESTABLISHED. BARED AREAS SHALL BE SEEDDED OR SODDED WITHIN 14 CALENDAR DAYS OF LAST DISTURBANCE.
2. APPROVED TEMPORARY EROSION CONTROL MEASURES MUST BE INSTALLED DURING THE ENTIRE TIME THAT EARTH IS BARE AND COVERED BY CONSTRUCTION AND SHALL STAY IN PLACE UNTIL ACCEPTABLE VEGETATIVE GROWTH IS ESTABLISHED AFTER CONSTRUCTION IS COMPLETE AND THEN REMOVED BY THE CONTRACTOR.
...
9. PER SECTION 5.2.2 OF THE GEOTECHNICAL REPORT, A MINIMUM OF 8 INCHES OF COMPACTED SUBBASE SHALL BE PLACED BENEATH ALL PAVED AREAS ON PREPARED SURFACES IN LIFTS NOT TO EXCEED 8" LOOSE MEASURE, WITH A COMPACTED THICKNESS NOT TO EXCEED 6 INCHES. EXPOSED SUBGRADE SHALL BE CHEMICALLY STABILIZED WITH EITHER CEMENT, LIME, OR A COMBINATION OF THE TWO. THERE SHALL BE NO OVERMIXING OF THE CHEMICAL ADMIXTURE. COMPACTION CHARACTERISTICS OF THE CHEMICALLY STABILIZED SUBGRADE LAYER SHOULD BE VERIFIED BY IN-PLACE DENSITY TESTS. AT A MINIMUM, THE FIELD TESTS SHALL BE PERFORMED AT AN AVERAGE RATE OF ONE TEST FOR EVERY 5,000 SF OF PAVEMENT AREA. STABILIZATION SHALL MEET THE FOLLOWING REQUIREMENTS:

SANITARY SEWER NOTES

- 1. ALL SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT REGULATIONS OF THE BRAZOS COUNTY HEALTH DISTRICT OR WITH THE REQUIREMENTS OF ANY OTHER AGENCY RESPONSIBLE FOR ISSUING PERMITS FOR ON-SITE SEWAGE DISPOSAL AS MAY BE DESIGNATED BY THE BRAZOS COUNTY COMMISSIONER'S COURT.
2. PER TCEQ DESIGN CRITERIA FOR DOMESTIC WASTEWATER SYSTEMS, WASTEWATER SERVICE LINES SHALL HAVE AN INSIDE DIAMETER OF NOT LESS THAN FOUR INCHES (4"). PER THE INTERNATIONAL PLUMBING CODE, THE MINIMUM GRADE ALLOWED FOR SERVICE LINES IS TWO PERCENT (2%).
...
17. LOW-PRESSURE AIR TEST: PERFORM TEST ACCORDING TO UNI-B-6-90 OR OTHER APPROPRIATE PROCEDURES. FOR SECTIONS OF PIPE LESS THAN 36" (INCH) AVERAGE INSIDE DIAMETER, THE MINIMUM ALLOWABLE TIME FOR PRESSURE DROP FROM 3.5 P.S.I.G. TO 2.5 P.S.I.G. SHALL BE AS FOLLOWS:
6" 340 SECONDS OR 0.855(L) FOR TEST LENGTHS GREATER THAN 398'
8" 454 SECONDS OR 1.520(L) FOR TEST LENGTHS GREATER THAN 298'
10" 567 SECONDS OR 2.370(L) FOR TEST LENGTHS GREATER THAN 239'
15" 850 SECONDS OR 5.342(L) FOR TEST LENGTHS GREATER THAN 159'
18" 1020 SECONDS OR 7.693(L) FOR TEST LENGTHS GREATER THAN 133'
WHERE L = LENGTH OF LINE OF SAME PIPE SIZE IN FEET.

STREET NOTES

- 1. WHEN PLACED AGAINST PAVEMENT, SIDEWALKS SHALL BE DOWELED INTO CONCRETE PAVEMENT WITH 3/4" X 18" SMOOTH BARS AT 16 INCHES (16") ON CENTER PER DETAIL ON SHEET 22. WHERE SIDEWALKS ADJUT ASPHALT, ASPHALT TRANSITION DETAIL SHALL BE USED.
2. FILL AREAS ON PLANS SHALL BE FILLED IN LAYERS NOT EXCEEDING 8" IN DEPTH AND EACH COMPACTED TO NOT LESS THAN 95% STANDARD PROCTOR DENSITY PRIOR TO INSTALLATION OF WATER LINE AND FILL AREA SHALL BE SEEDDED AND FERTILIZED WITHIN 10 WORKING DAYS.
...
9. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY DAMAGES TO EXISTING WATER, WASTEWATER, STORM SEWER AND TRAFFIC SIGNAL CONDUITS, ALL DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH BRAZOS COUNTY AND OWNER STANDARDS, AT THE CONTRACTOR'S COST.

WATER NOTES

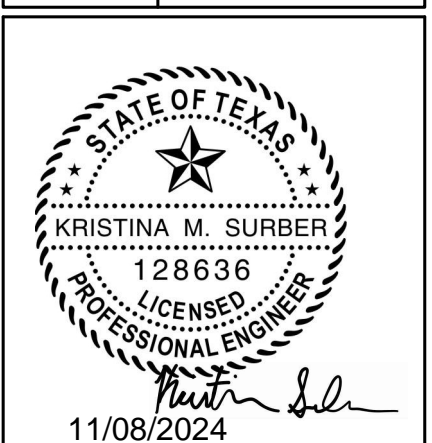
- 1. PER WELLBORN SUB INSTRUCTION, WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST BRYAN/COLLEGE STATION UNIFIED DESIGN GUIDELINES FOR DOMESTIC WATER, STANDARD SPECIFICATION, AND CONSTRUCTION DETAILS, UNLESS OTHERWISE NOTED.
2. 1" THRU 3" WATER LINES SHALL BE PVC SCHEDULE 40. DI FITTINGS SHALL BE USED WITH PVC PIPE AND DOUBLE WRAPPED IN 8-MIL POLYETHYLENE AND SEALED ON THE EDGES WITH AN APPROVED TAPE.
...
15. ALL WATER VALVES SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA C-500 AND SHALL BE OF THE RESILIENT SEAT TYPE.

Table with columns: REV, DATE, BY, APP, COMMENT. Contains revision information for the drawing.

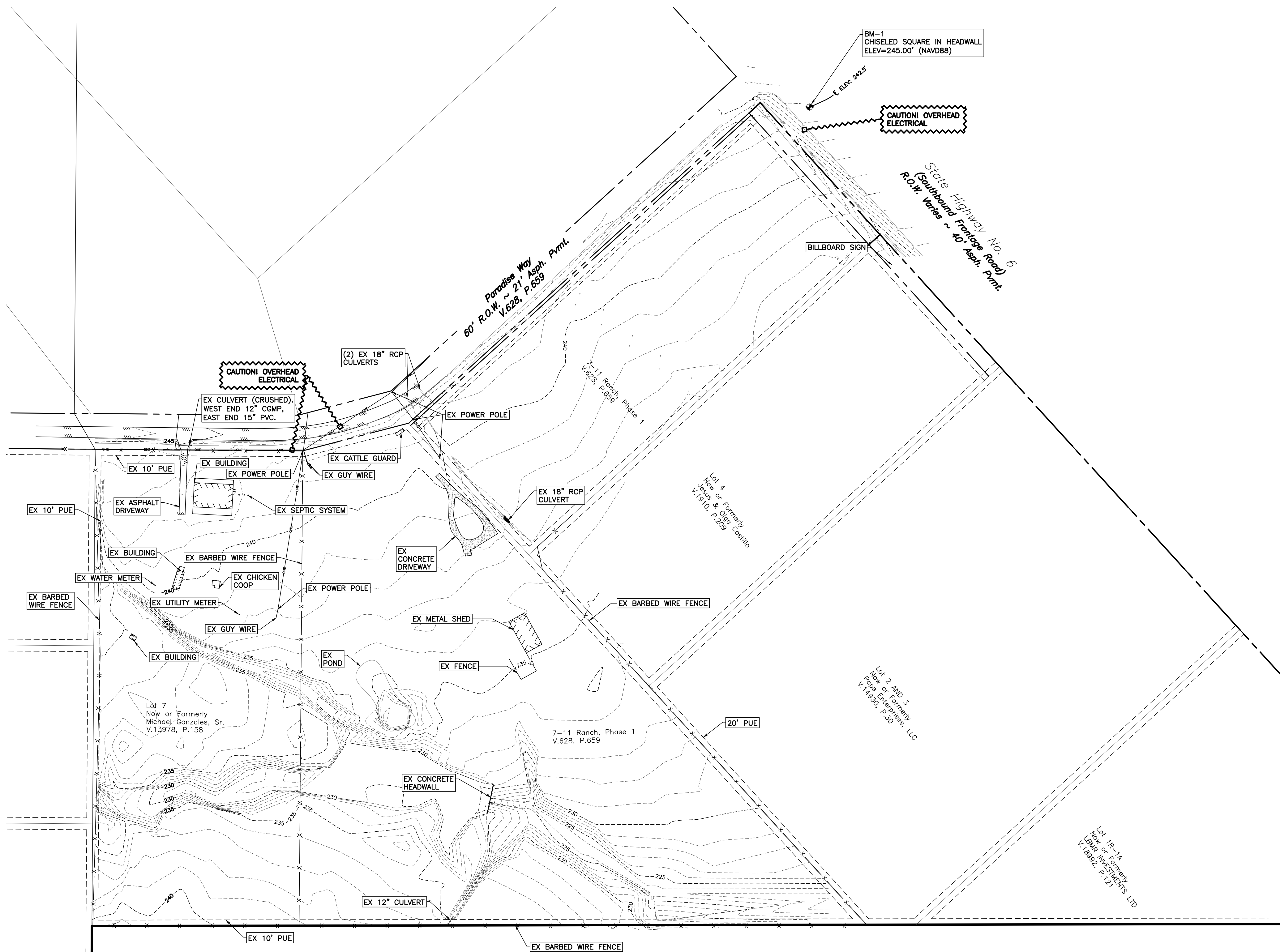
PREPARED FOR:
PURE STRIKE, DEVELOPMENT
LP & B&T REALTY
P.O. BOX 10421
COLLEGE STATION, TX 77842

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PLANNING • DESIGN • MANAGEMENT
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Tel. 979-268-1125 Fax 979-260-3849
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STANDARD NOTES
PARADISE WAY MOBILE HOME PARK
LOT 6 AND 7, 7-11 RANCH, PHASE 1
1100 PARADISE WAY
BRAZOS COUNTY



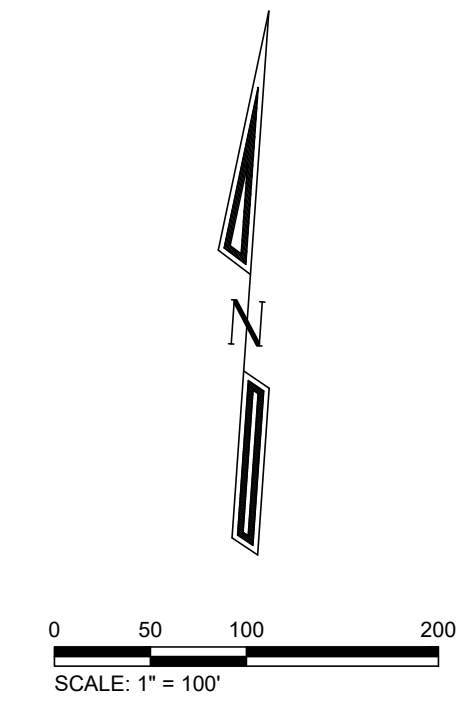
DESIGN: KMS
CAD: KMS RVW: TOW
PROJECT NO: 13118
SHEET: 2 OF: 27
11/08/2024



BM-1  
CHISELED SQUARE IN HEADWALL  
ELEV=245.00' (NAVD88)

CAUTION OVERHEAD  
ELECTRICAL

CAUTION OVERHEAD  
ELECTRICAL



LEGEND	
	EASEMENT
	EX CONTOUR
	GAS PIPELINE
	OVERHEAD ELECTRICAL
	TELEPHONE
	FENCE
	EX FENCE
	ASPHALT PAVEMENT
	BENCHMARK
	CORNER MONUMENT

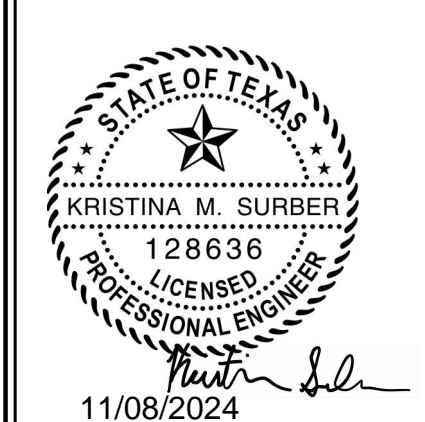
REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
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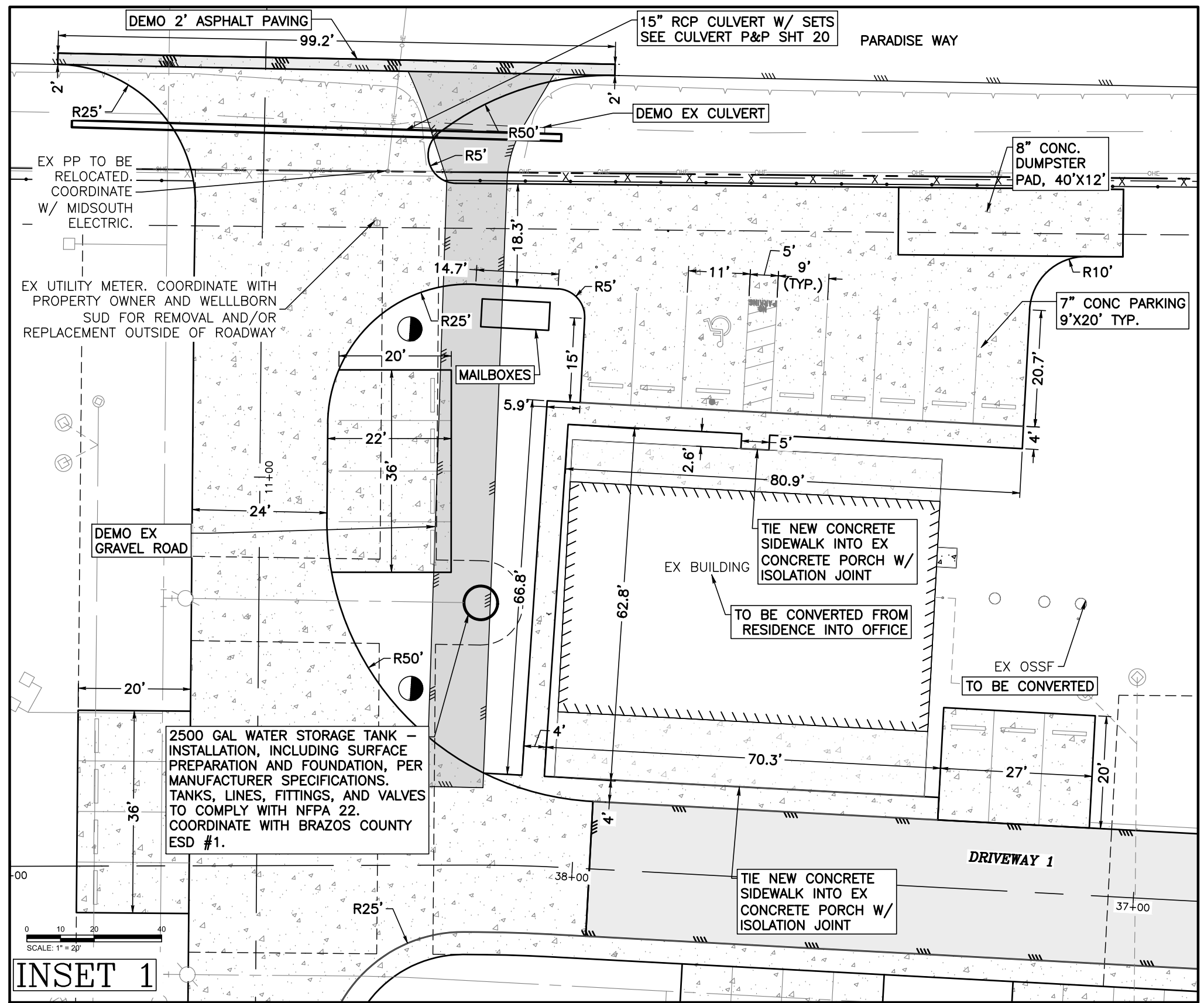
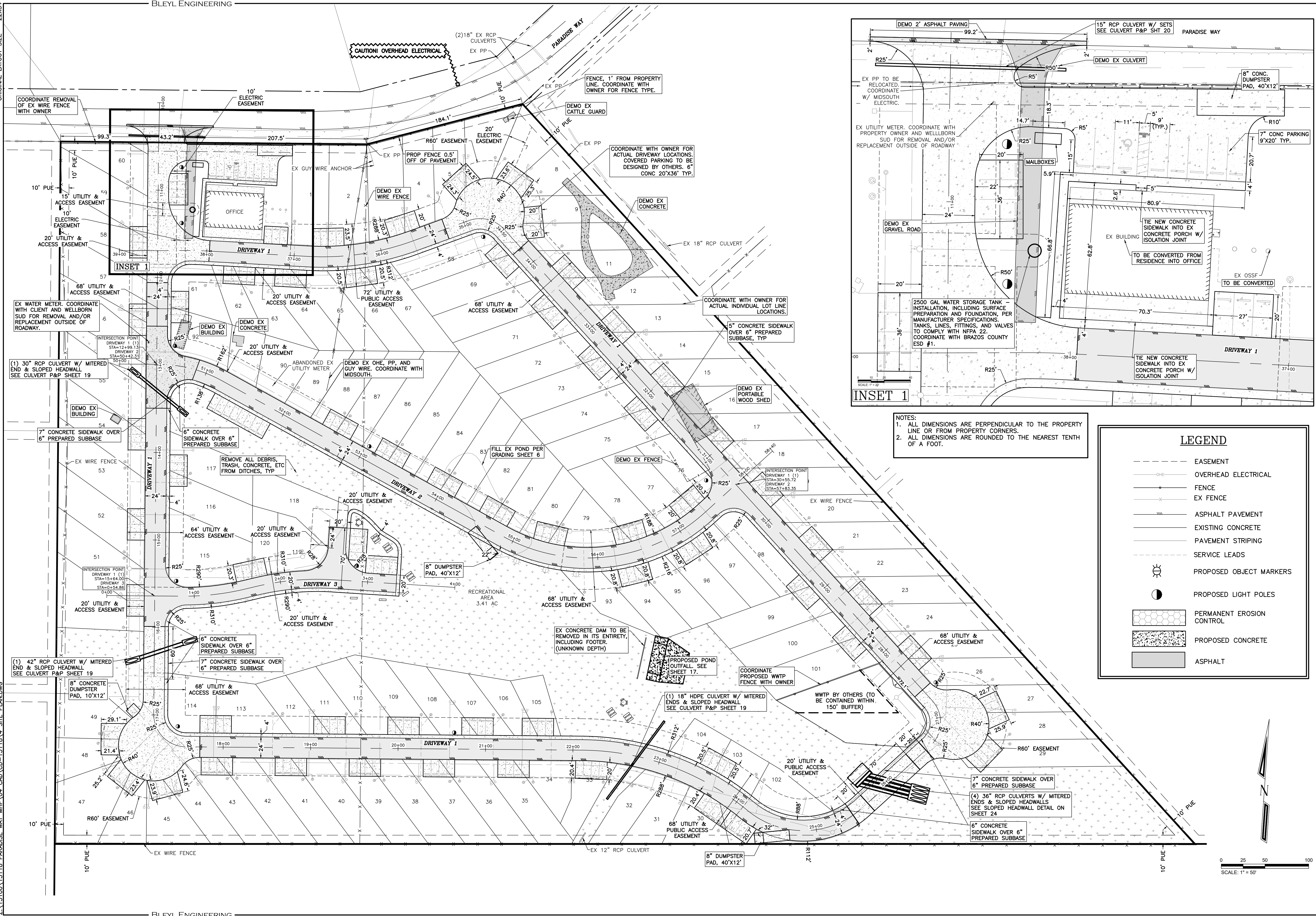
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**SURVEY**  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY



11/08/2024  
 DESIGN: KMS  
 CAD: KMS    RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 3    OF: 27



NOTES:  
 1. ALL DIMENSIONS ARE PERPENDICULAR TO THE PROPERTY LINE OR FROM PROPERTY CORNERS.  
 2. ALL DIMENSIONS ARE ROUNDED TO THE NEAREST TENTH OF A FOOT.

**LEGEND**

- EASEMENT
- OVERHEAD ELECTRICAL
- FENCE
- EX FENCE
- ASPHALT PAVEMENT
- EXISTING CONCRETE
- PAVEMENT STRIPING
- SERVICE LEADS
- PROPOSED OBJECT MARKERS
- PROPOSED LIGHT POLES
- PERMANENT EROSION CONTROL
- PROPOSED CONCRETE
- ASPHALT

REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
**PURE STRIKE DEVELOPMENT LP & B&T REALTY**  
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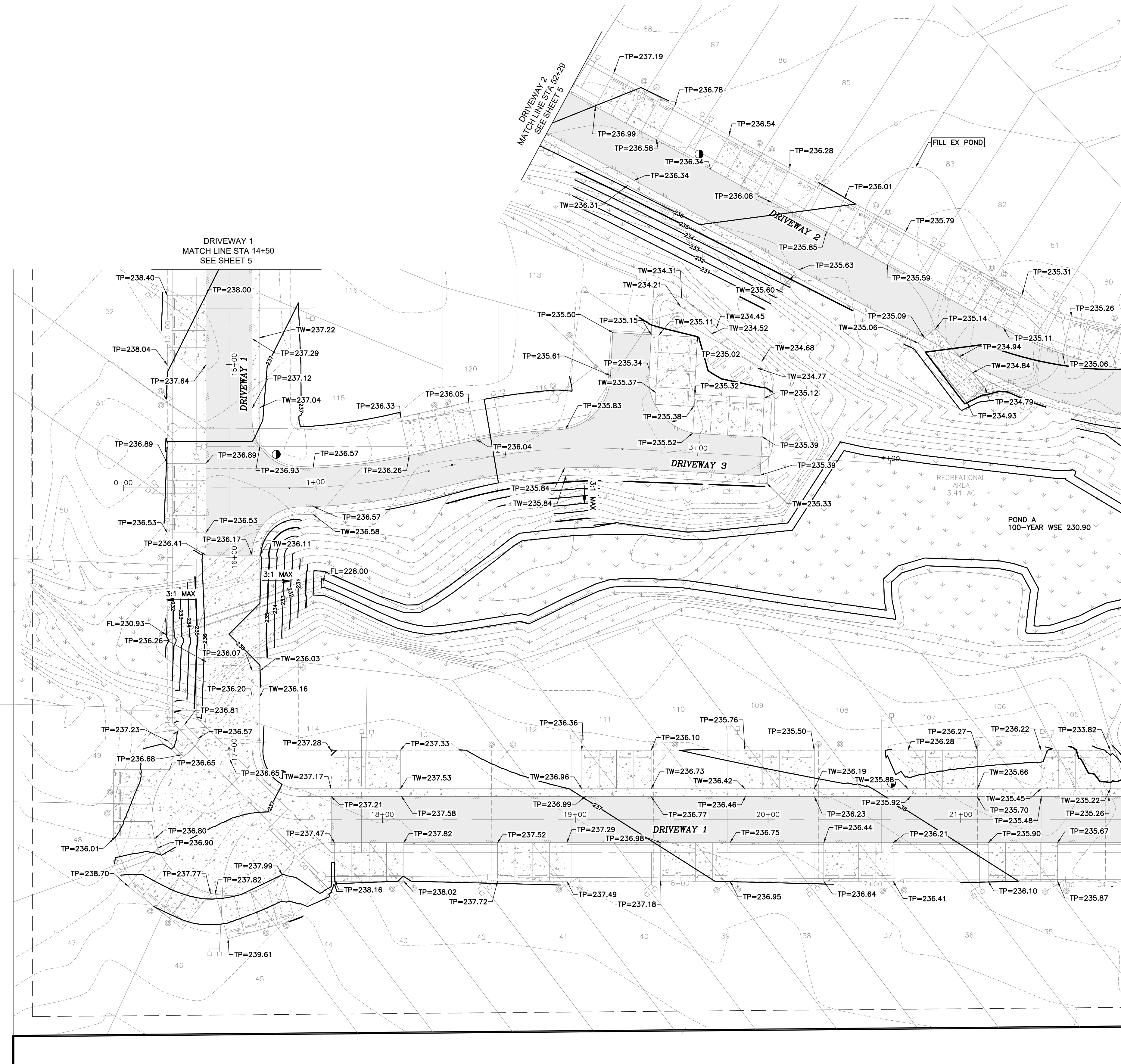
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**SITE PLAN**  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

11/08/2024

DESIGN: KMS  
 CAD: KMS    RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 4    OF: 27





- NOTES:**
1. SIDEWALKS SHALL HAVE A MAXIMUM SIDE SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5%.
  2. GRADE SITE FOR POSITIVE DRAINAGE.
  3. MAXIMUM 2% SLOPE IN ANY DIRECTION AWAY FROM BUILDING AT ALL BUILDING ENTRY/EXIT LOCATIONS.
  4. LANDSCAPING SHALL NOT RESTRICT STORM WATER RUNOFF.
  5. FINISHED GRADES SHALL NOT IMPACT OFFSITE DRAINAGE AND SHALL NOT EXCEED 3:1.
  6. LANDSCAPE BERMS ADJACENT TO BUILDINGS SHALL HAVE A MAXIMUM FINISHED ELEVATION OF 4"-6" BELOW BUILDING FINISHED FLOOR OR NO HIGHER THAN THE ADJACENT SIDEWALK.
  7. CONTRACTOR TO DISPOSE OF EXCESS SPOIL.
  8. CONTRACTOR SHALL CONFIRM POSITIVE DRAINAGE WITHOUT PONDING PRIOR TO CONCRETE POURS AND NOTIFY THE ENGINEER IF THERE IS A PROBLEM.
  9. VERIFY EXISTING PAVEMENT ELEVATIONS PRIOR TO CONSTRUCTION.
  10. THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND OBTAINING THE FINAL TEXAS ACCESSIBILITY STANDARDS (TAS) POST-CONSTRUCTION APPROVAL FROM THE PROJECT RAS. THE CONTRACTOR SHALL RESOLVE ALL ITEMS FOUND TO BE IN NON-COMPLIANCE PRIOR TO FINAL TURN-OVER TO THE OWNER.
  11. REFERENCE DRAINAGE REPORT AS NEEDED DURING CONSTRUCTION.

**LEGEND**

FF	FINISH FLOOR ELEVATION
FG	FINISH GRADE ELEVATION
FL	FLOW LINE ELEVATION
ME	MATCH EXISTING ELEVATION
TC	TOP OF CURB ELEVATION
TG	TOP OF GRATE ELEVATION
TP	TOP OF PAVEMENT ELEVATION
TW	TOP OF WALK ELEVATION

PROPOSED	EXISTING	
		SANITARY SEWER MANHOLE
		WATER TAPPING SLEEVE & VALVE
		WATER GATE VALVE & BOX
		BLOW OFF VALVE & PLUG
		WATER SERVICE LEAD (SINGLE)
		WATER SERVICE LEAD (DUAL)
		SANITARY SINGLE
		SANITARY DOUBLE
		PROPOSED CONCRETE PAVEMENT
		PROPOSED SIDEWALK
		EXISTING CONTOUR
		PROPOSED CONTOUR
		ASPHALT PAVEMENT

THE DESIGN OF THE PROJECT WILL HAVE NO NEGATIVE EFFECT ON THIS DEVELOPMENT OR ON THE SURFACE WATER ELEVATION AND/OR THE ADJACENT PROPERTIES.

REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
**PURE STRIKE DEVELOPMENT LP & B&T REALTY**  
 P. O. BOX 10421  
 COLLEGE STATION, TX 77842

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**GRADING PLAN (2 OF 3)**  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

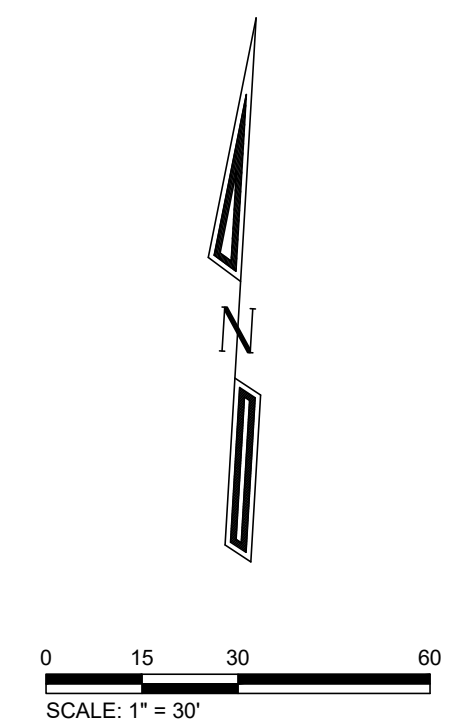
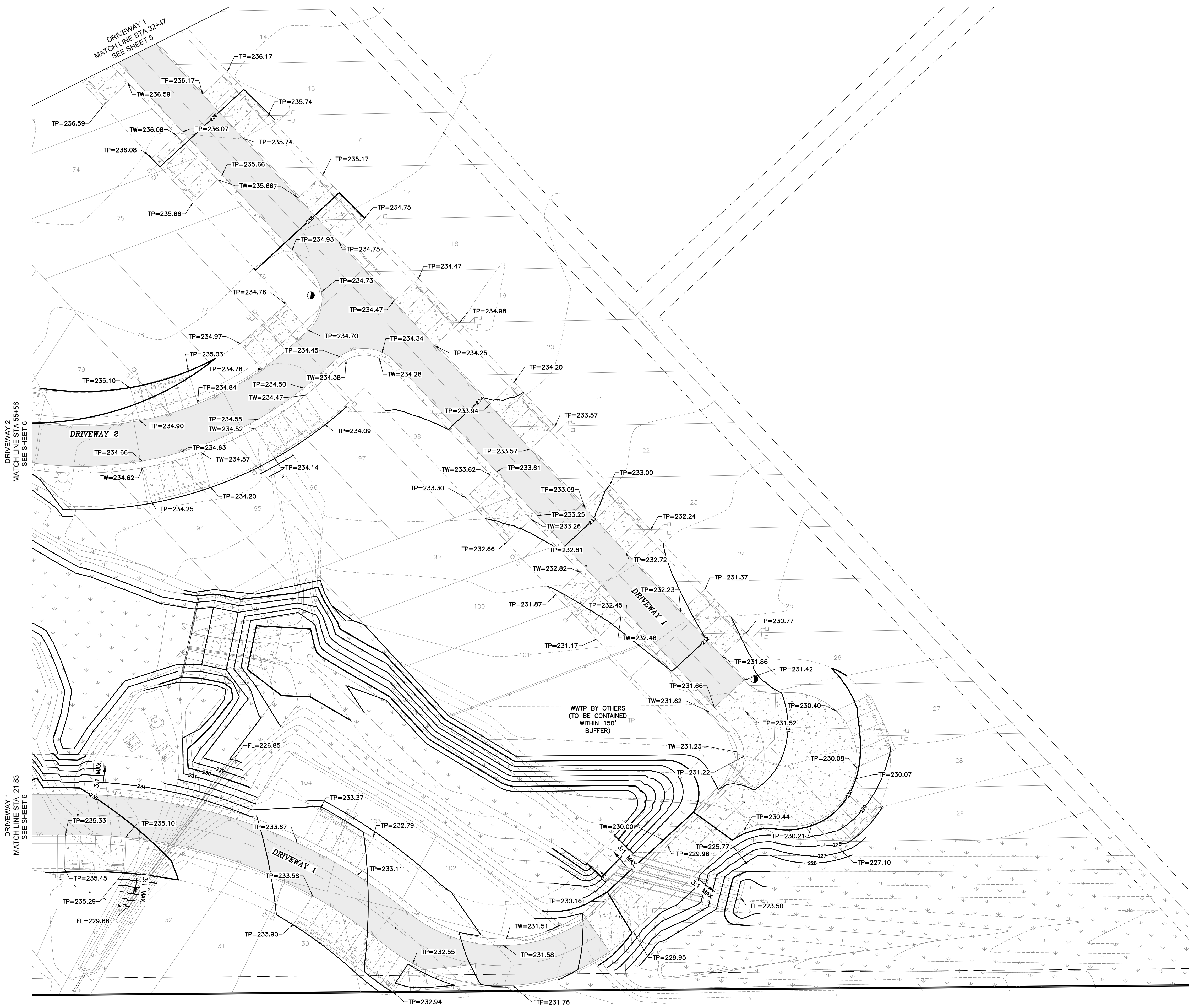
STATE OF TEXAS  
 KRISTINA M. SURBER  
 128636  
 LICENSED PROFESSIONAL ENGINEER

11/08/2024

DESIGN: KMS  
 CAD: KMS    RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 6    OF: 27

ORIGINAL LAYOUT SIZE - 22X34

11/7/2024 5:03:17 PM KSRUBER 23\13100\13118 PARADISE WAY MHP D4 CAD\_CD-13118-5-7 GRADING.DWG



- NOTES:**
- SIDEWALKS SHALL HAVE A MAXIMUM SIDE SLOPE OF 2% AND A MAXIMUM RUNNING SLOPE OF 5%.
  - GRADE SITE FOR POSITIVE DRAINAGE.
  - MAXIMUM 2% SLOPE IN ANY DIRECTION AWAY FROM BUILDING AT ALL BUILDING ENTRY/EXIT LOCATIONS.
  - LANDSCAPING SHALL NOT RESTRICT STORM WATER RUNOFF.
  - FINISHED GRADES SHALL NOT IMPACT OFFSITE DRAINAGE AND SHALL NOT EXCEED 3:1.
  - LANDSCAPE BERMS ADJACENT TO BUILDINGS SHALL HAVE A MAXIMUM FINISHED ELEVATION OF 4" - 6" BELOW BUILDING FINISHED FLOOR OR NO HIGHER THAN THE ADJACENT SIDEWALK.
  - CONTRACTOR TO DISPOSE OF EXCESS SPOIL.
  - CONTRACTOR SHALL CONFIRM POSITIVE DRAINAGE WITHOUT PONDING PRIOR TO CONCRETE POURS AND NOTIFY THE ENGINEER IF THERE IS A PROBLEM.
  - VERIFY EXISTING PAVEMENT ELEVATIONS PRIOR TO CONSTRUCTION.
  - THE CONTRACTOR IS RESPONSIBLE FOR SCHEDULING AND OBTAINING THE FINAL TEXAS ACCESSIBILITY STANDARDS (TAS) POST-CONSTRUCTION APPROVAL FROM THE PROJECT RAS. THE CONTRACTOR SHALL RESOLVE ALL ITEMS FOUND TO BE IN NON-COMPLIANCE PRIOR TO FINAL TURN-OVER TO THE OWNER. REFERENCE DRAINAGE REPORT AS NEEDED DURING CONSTRUCTION.

**LEGEND**

FF	FINISH FLOOR ELEVATION
FG	FINISH GRADE ELEVATION
FL	FLOW LINE ELEVATION
ME	MATCH EXISTING ELEVATION
TC	TOP OF CURB ELEVATION
TP	TOP OF GRATE ELEVATION
TW	TOP OF PAVEMENT ELEVATION
	TOP OF WALK ELEVATION

	PROPOSED	EXISTING	SANITARY SEWER MANHOLE
			WATER TAPPING SLEEVE & VALVE
			WATER GATE VALVE & BOX
			BLOW OFF VALVE & PLUG
			WATER SERVICE LEAD (SINGLE)
			WATER SERVICE LEAD (DUAL)
			SANITARY SINGLE
			SANITARY DOUBLE
			PROPOSED CONCRETE PAVEMENT
			PROPOSED SIDEWALK
			EXISTING CONTOUR
			PROPOSED CONTOUR
			ASPHALT PAVEMENT

THE DESIGN OF THE PROJECT WILL HAVE NO NEGATIVE EFFECT ON THIS DEVELOPMENT OR ON THE SURFACE WATER ELEVATION AND/OR THE ADJACENT PROPERTIES.


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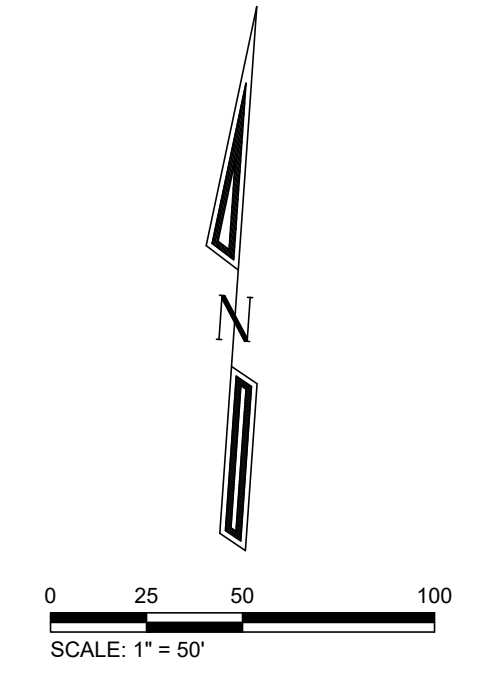
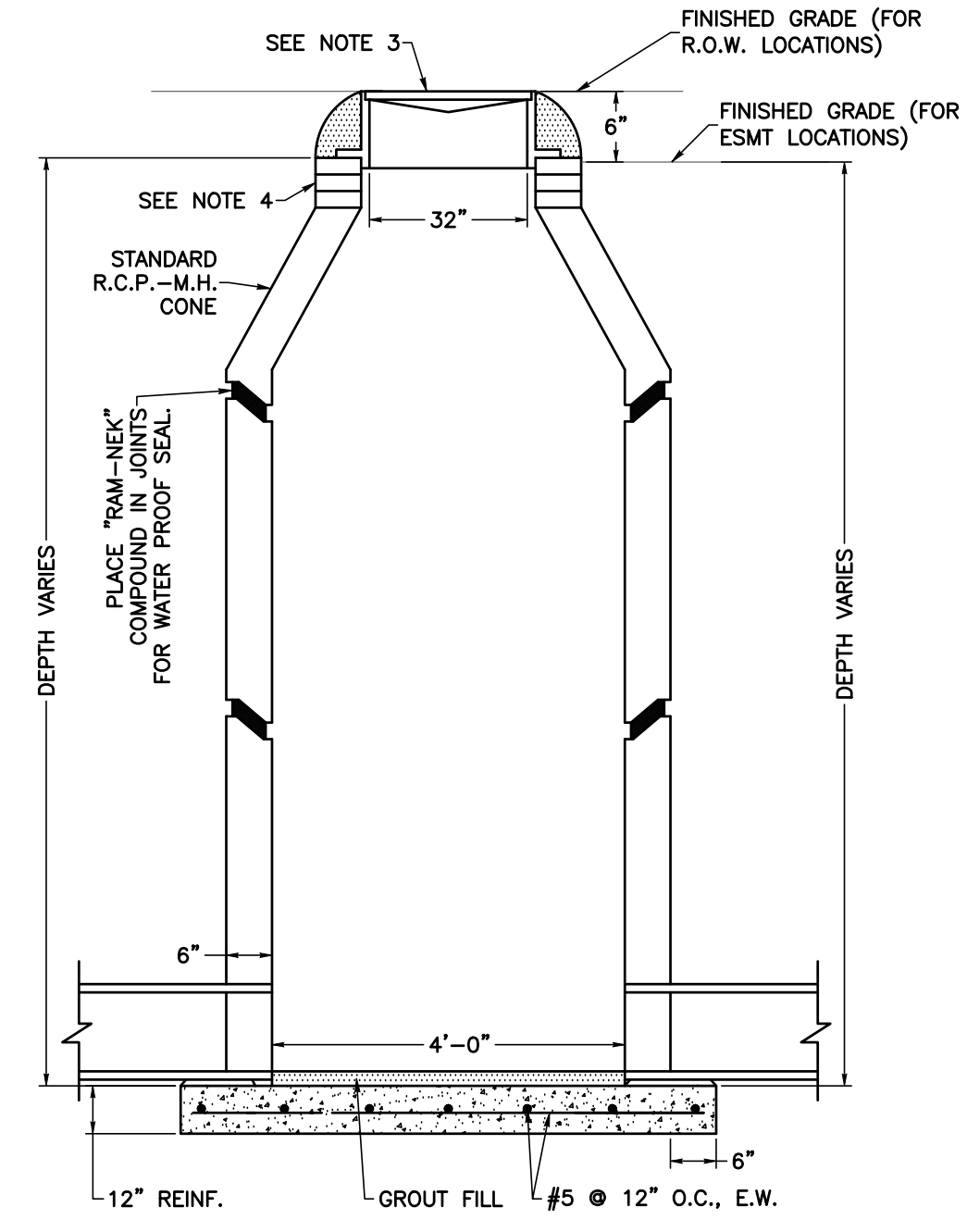
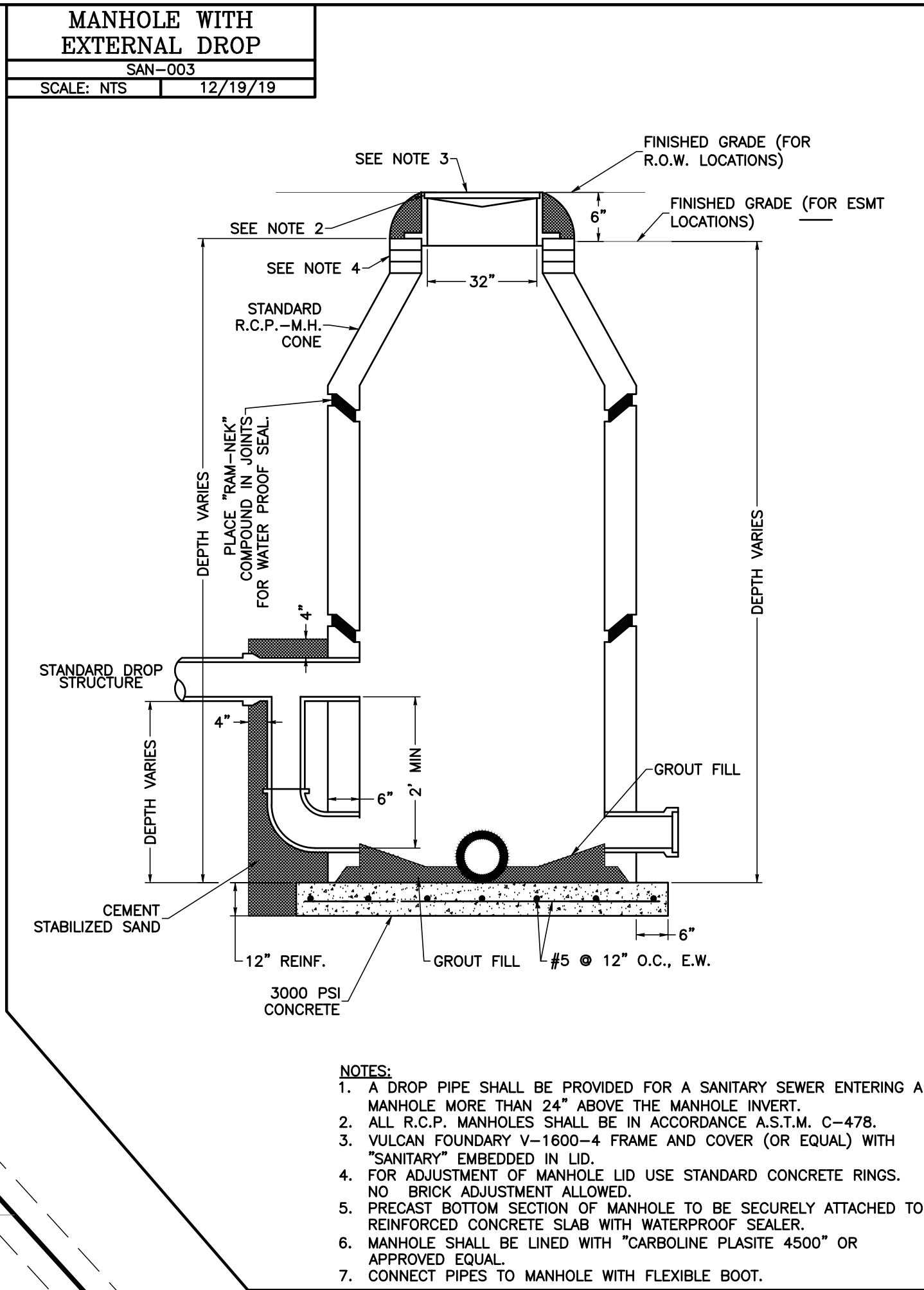
**GRADING PLAN (3 OF 3)**  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

11/08/2024

DESIGN: KMS  
 CAD: KMS    RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 7    OF: 27



- NOTES:**
1. ALL SINGLE SANITARY SERVICE LEADS TO BE 4" AT A MINIMUM SLOPE OF 1.0%.
  2. ALL DUAL SANITARY SERVICE LEADS TO BE 6" AT A MINIMUM SLOPE OF 0.5%.
  3. POTABLE WATER DISTRIBUTION LINES AND WASTEWATER MAINS OR LATERALS THAT FORM PARALLEL UTILITY LINES SHALL BE INSTALLED IN SEPARATE TRENCHES AT A MINIMUM OF 9' SPACING.



**LEGEND**

	SANITARY SEWER LINE
	SANITARY SEWER SERVICE LEAD
	MANHOLE
	SERVICE CONNECTION
	REFERENCE SHEET NUMBER

REV	DATE	BY	APP	COMMENT

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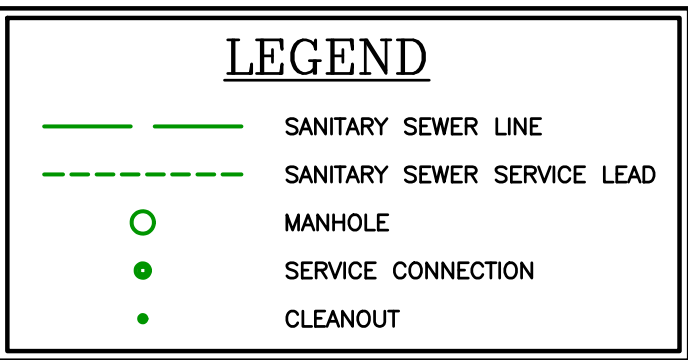
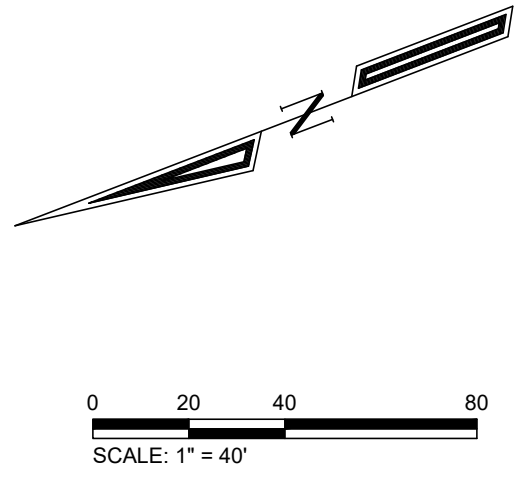
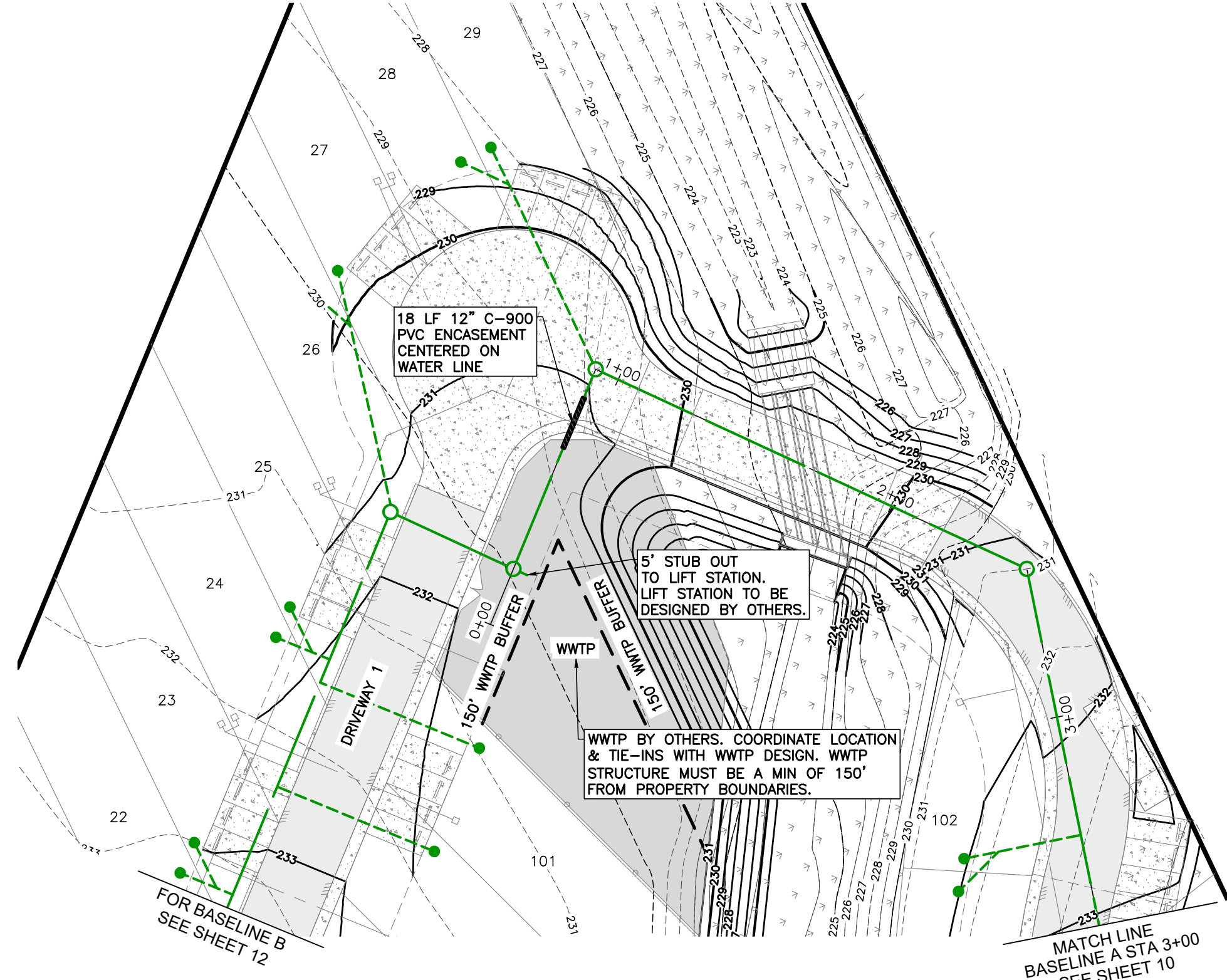
AUSTIN BRYAN CONROE HOUSTON

**SANITARY SEWER OVERALL**  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

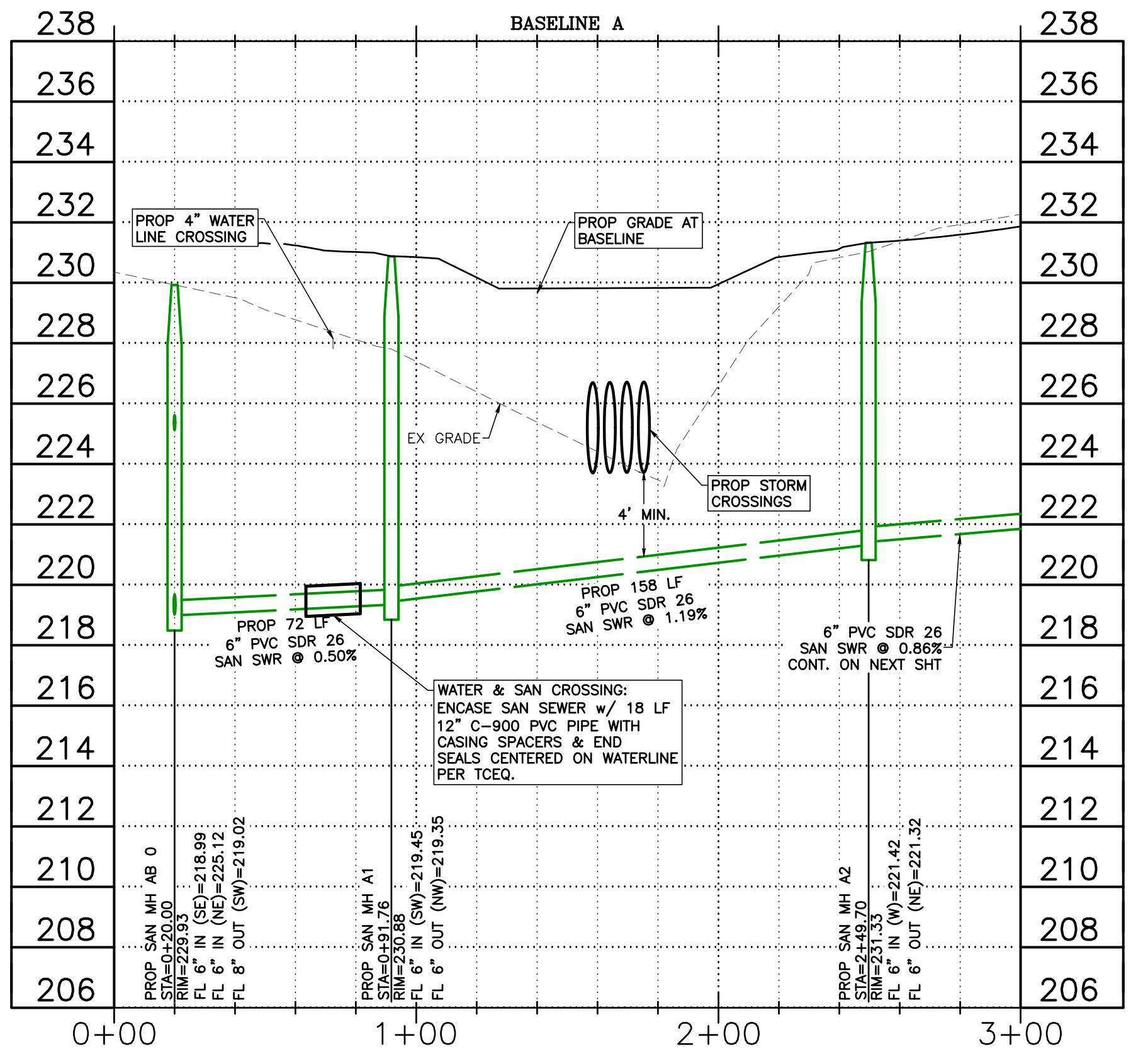
11/08/2024

DESIGN: KMS  
 CAD: KMS RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 8 OF: 27





- SANITARY SEWER SERVICE NOTES:**
1. ALL SINGLE SANITARY SERVICE LEADS TO BE 4" AT A MINIMUM SLOPE OF 1.0%.
  2. ALL DUAL SANITARY SERVICE LEADS TO BE 6" AT A MINIMUM SLOPE OF 0.5%.




PREPARED FOR:  
 PURE STRIKE DEVELOPMENT  
 LP & B&T REALTY  
 P. O. BOX 10421  
 COLLEGE STATION, TX 77842

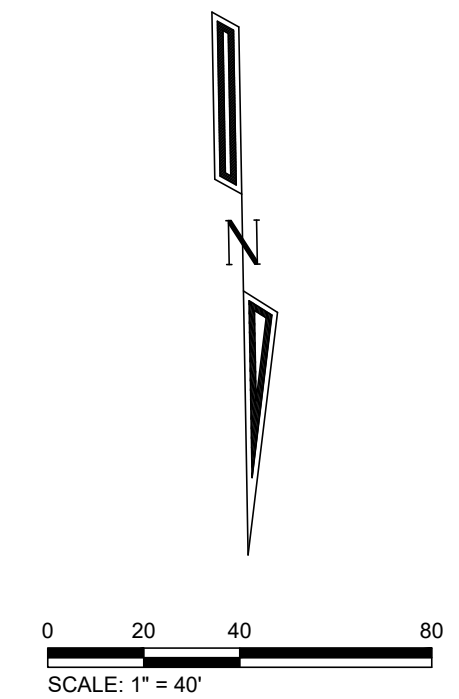
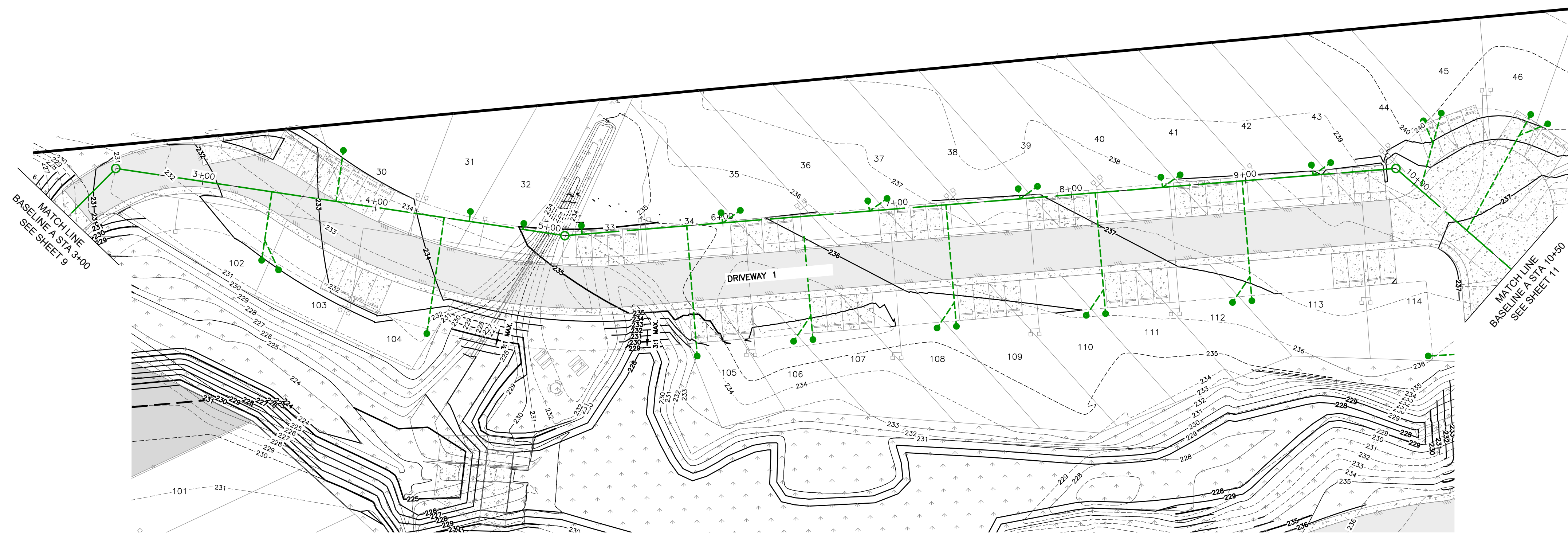
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SANITARY P&P BASE LINE A  
 STA 0+00 TO 3+00

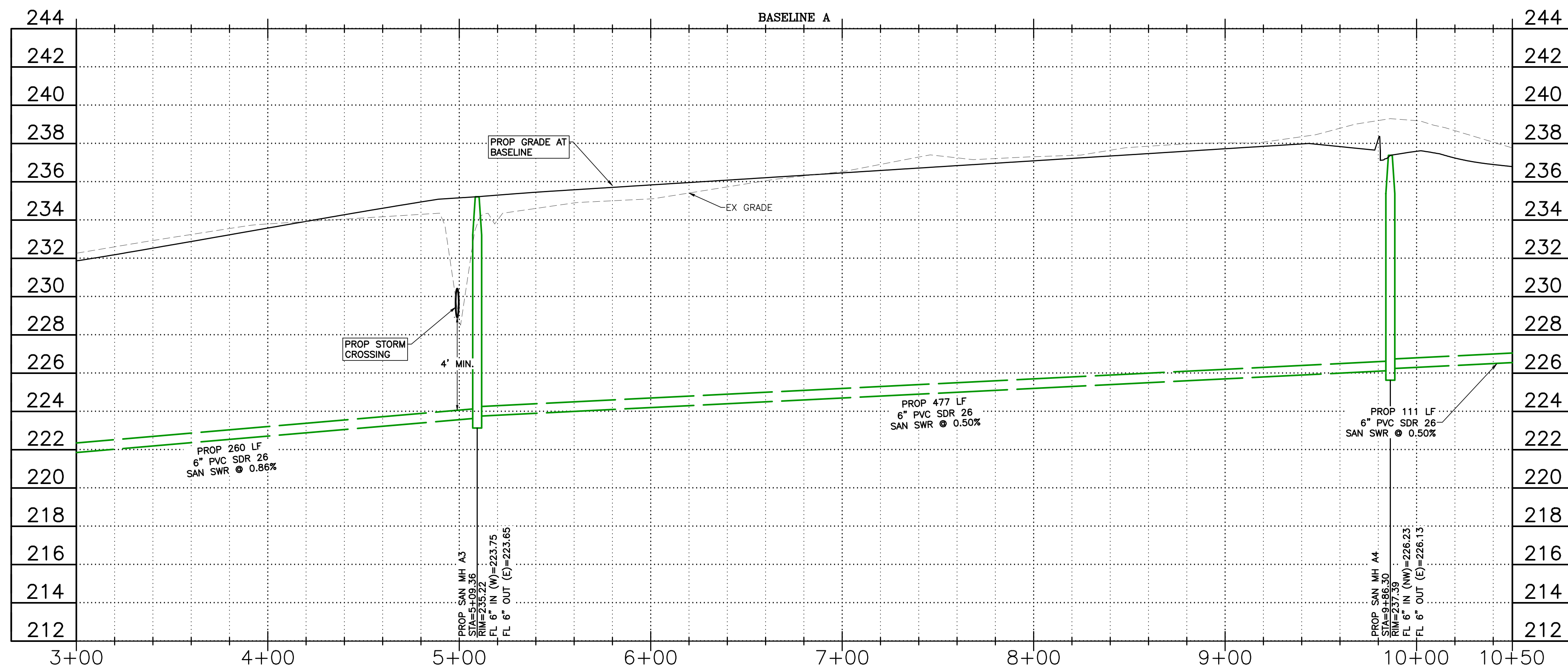
PARADISE WAY MOBILE HOME PARK  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

DESIGN: KMS  
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 PROJECT NO: 13118  
 SHEET: 9 OF: 27



LEGEND	
	SANITARY SEWER LINE
	SANITARY SEWER SERVICE LEAD
	MANHOLE
	SERVICE CONNECTION
	CLEANOUT

- SANITARY SEWER SERVICE NOTES:**
- ALL SINGLE SANITARY SERVICE LEADS TO BE 4" AT A MINIMUM SLOPE OF 1.0%.
  - ALL DUAL SANITARY SERVICE LEADS TO BE 6" AT A MINIMUM SLOPE OF 0.5%.



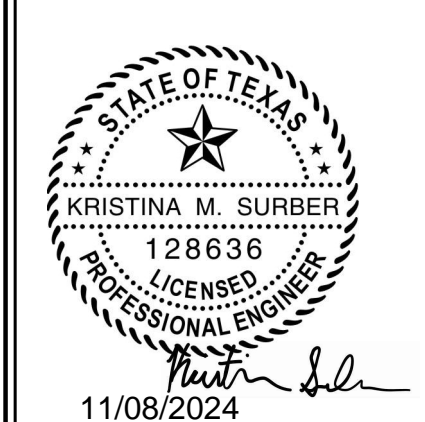
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PREPARED FOR:  
**PURE STRIKE DEVELOPMENT**  
 LP & B&T REALTY  
 P.O. BOX 10421  
 COLLEGE STATION, TX 77842

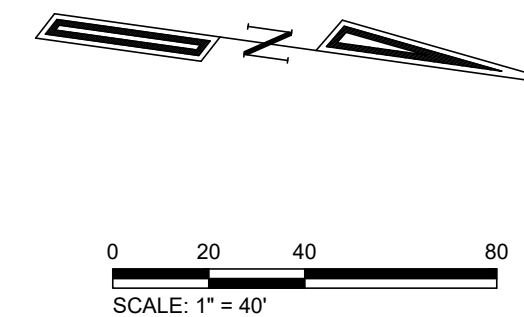
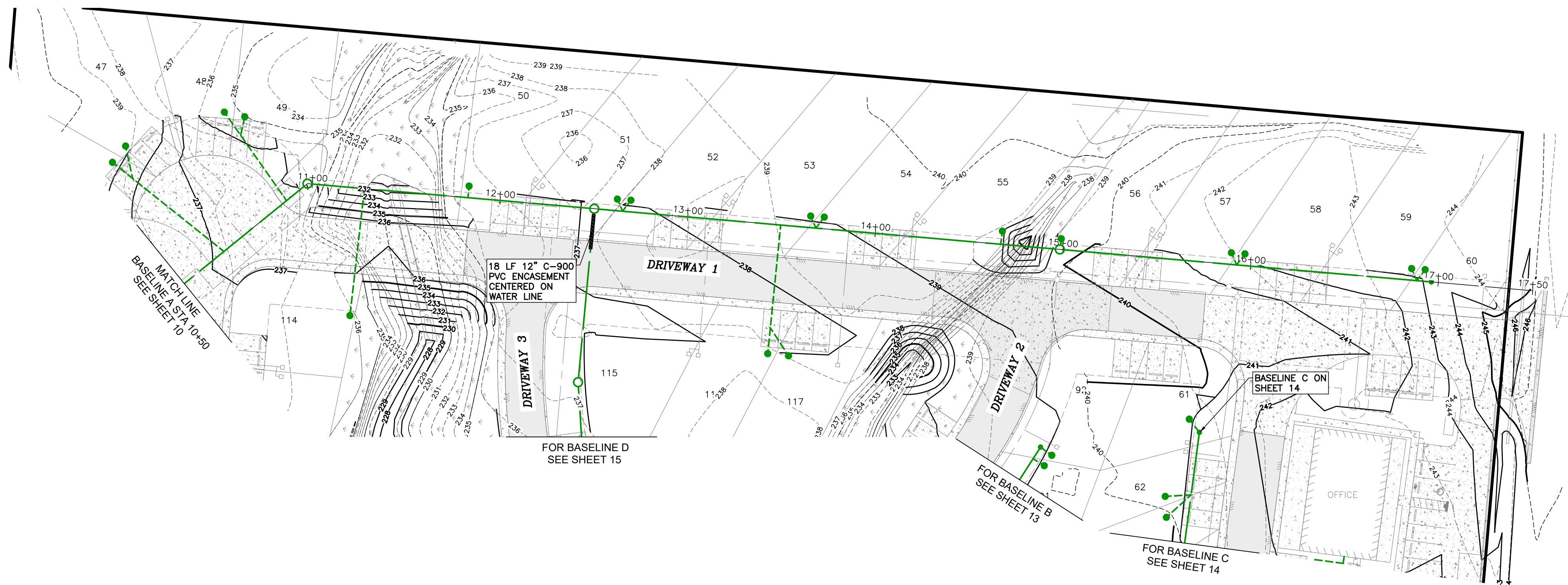
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**SANITARY P&P BASE LINE A**  
 STA 3+00 TO 10+50  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

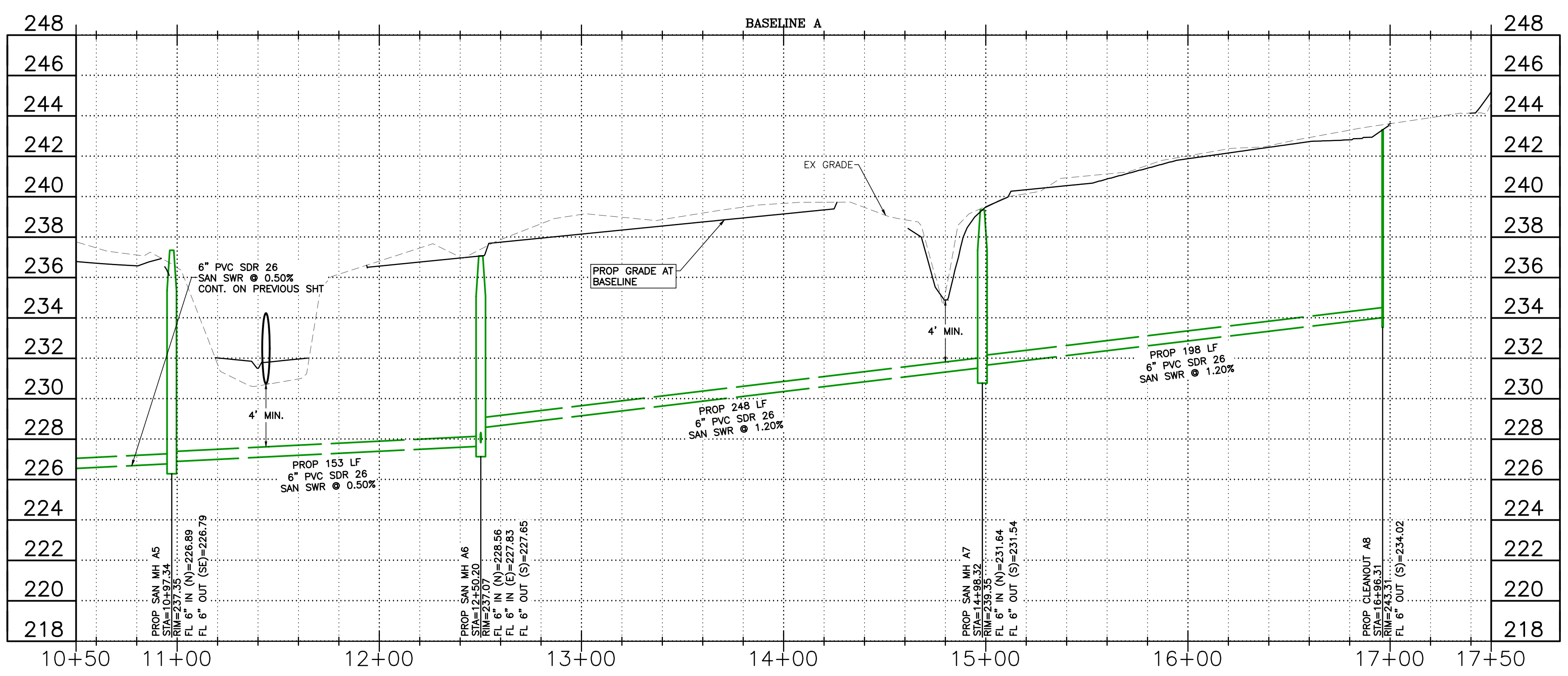


11/08/2024  
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 PROJECT NO: 13118  
 SHEET: 10    OF: 27



LEGEND	
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	SANITARY SEWER SERVICE LEAD
	MANHOLE
	SERVICE CONNECTION
	CLEANOUT

- SANITARY SEWER SERVICE NOTES:**
1. ALL SINGLE SANITARY SERVICE LEADS TO BE 4" AT A MINIMUM SLOPE OF 1.0%.
  2. ALL DUAL SANITARY SERVICE LEADS TO BE 6" AT A MINIMUM SLOPE OF 0.5%.



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PREPARED FOR:  
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 LP & B&T REALTY  
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 COLLEGE STATION, TX 77842

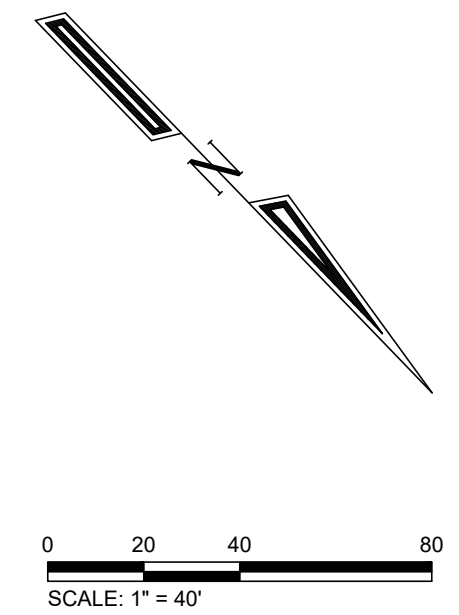
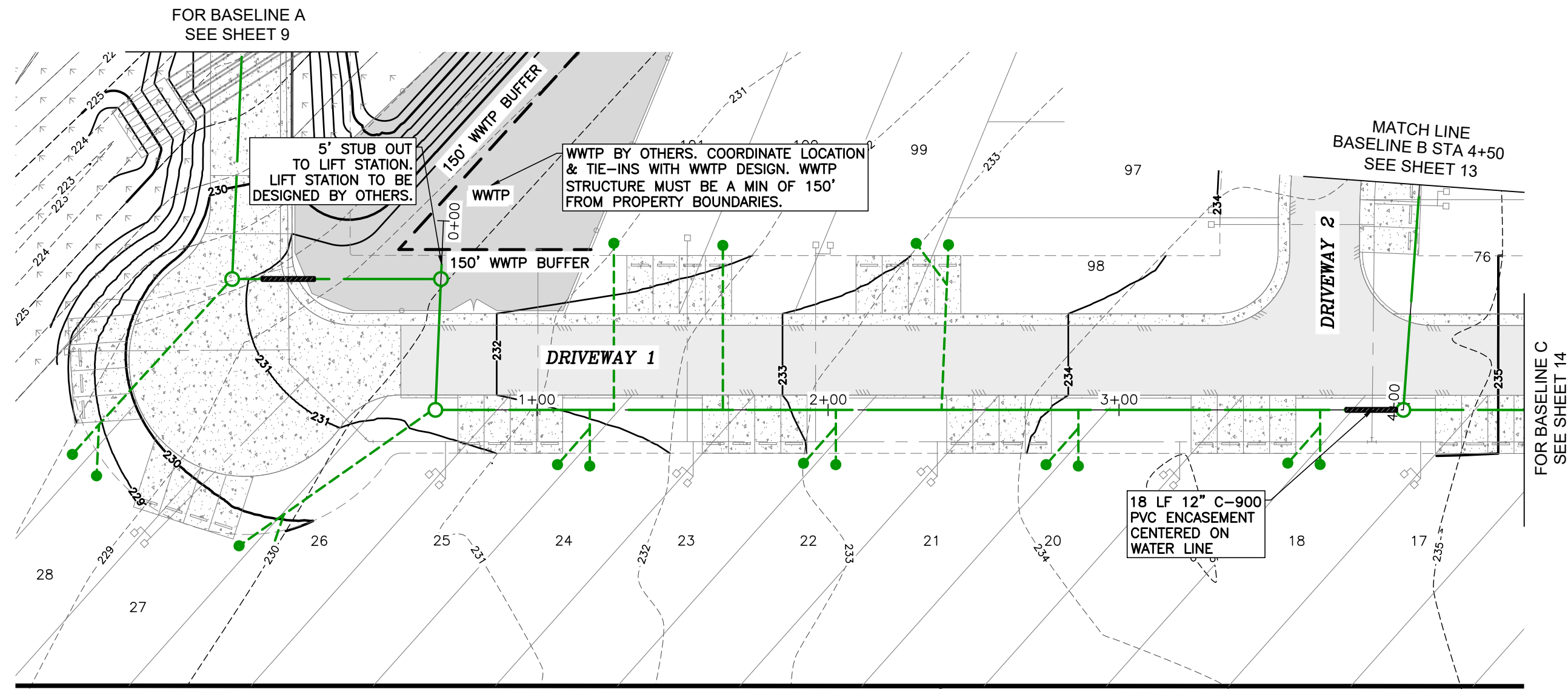
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AUSTIN BRYAN CONROE HOUSTON

**SANITARY P&P BASE LINE A**  
 STA 10+50 TO 17+50  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

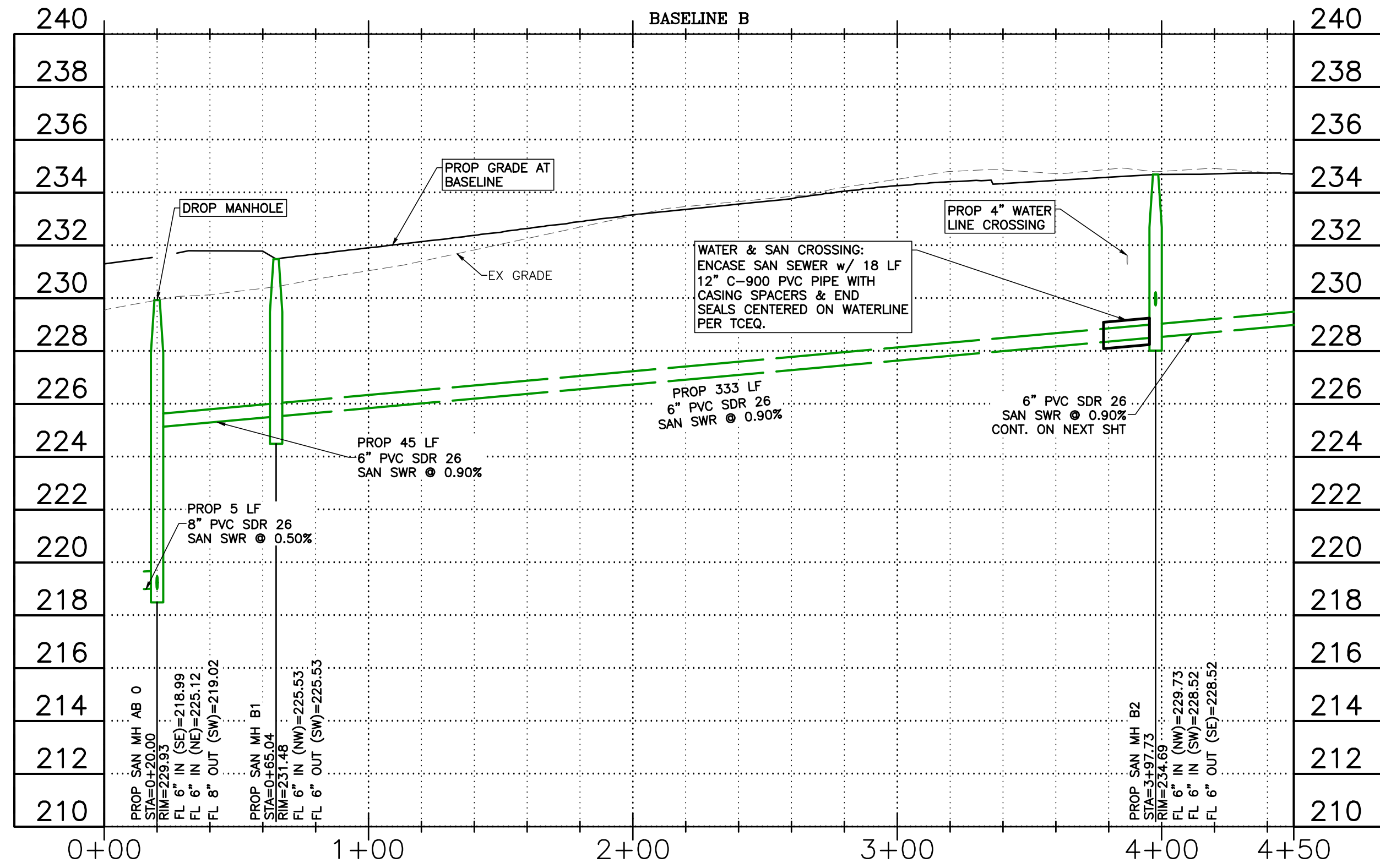
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 PROJECT NO: 13118  
 SHEET: 11 OF: 27



LEGEND	
	SANITARY SEWER LINE
	SANITARY SEWER SERVICE LEAD
	MANHOLE
	SERVICE CONNECTION
	CLEANOUT

- SANITARY SEWER SERVICE NOTES:**
1. ALL SINGLE SANITARY SERVICE LEADS TO BE 4" AT A MINIMUM SLOPE OF 1.0%.
  2. ALL DUAL SANITARY SERVICE LEADS TO BE 6" AT A MINIMUM SLOPE OF 0.5%.



REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
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 LP & B&T REALTY  
 P.O. BOX 10421  
 COLLEGE STATION, TX 77842

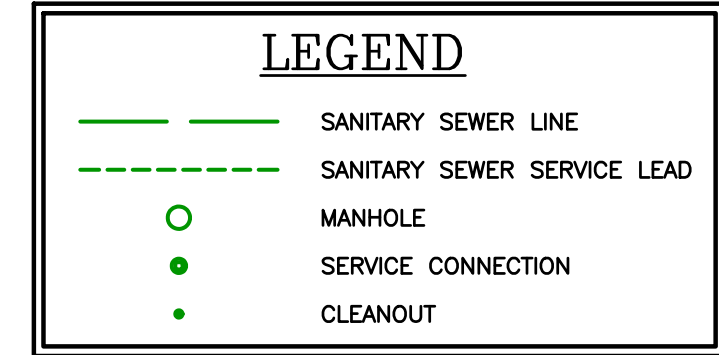
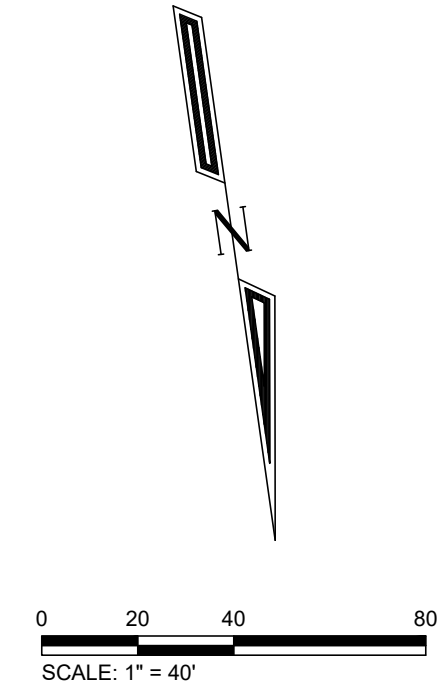
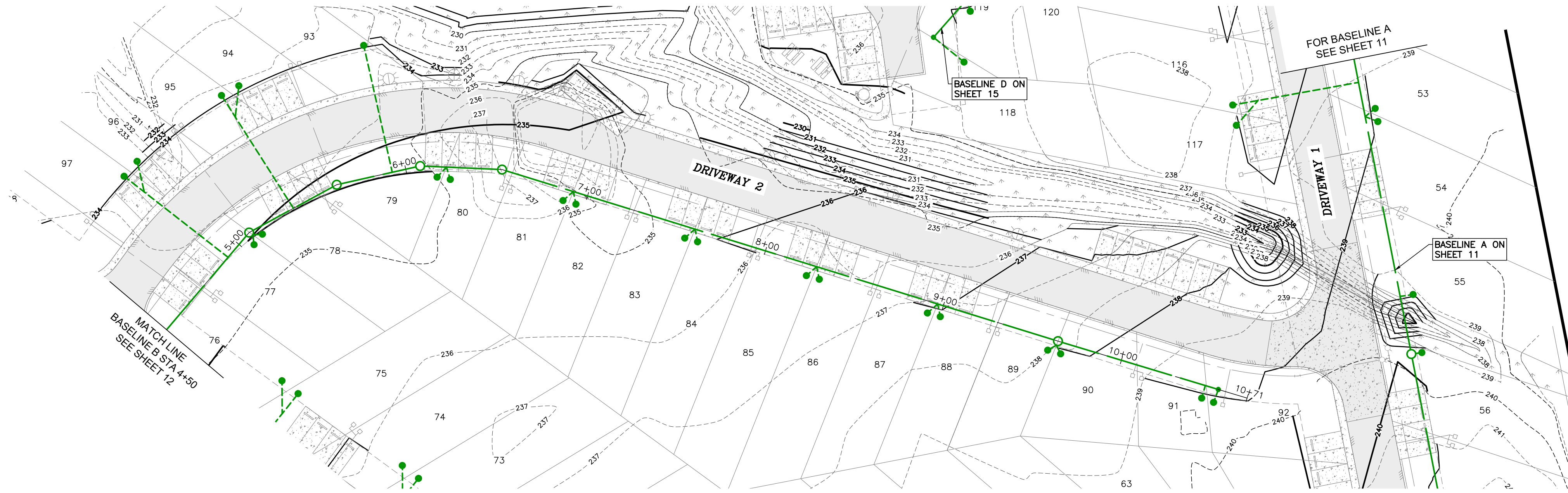
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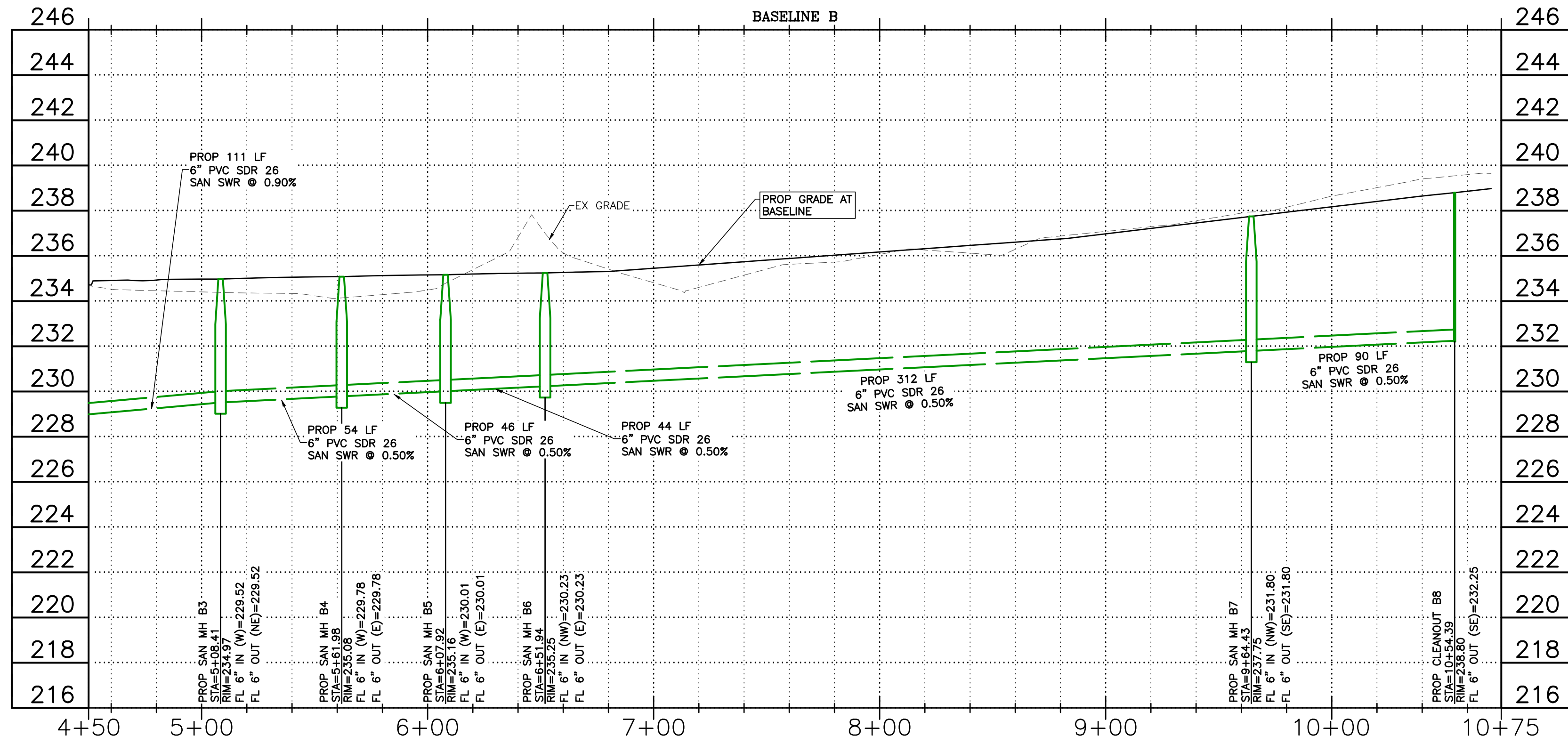
**SANITARY P&P BASE LINE B**  
 STA 0+00 TO 4+50  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

11/08/2024

DESIGN: KMS  
 CAD: KMS RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 12 OF: 27



- SANITARY SEWER SERVICE NOTES:**
1. ALL SINGLE SANITARY SERVICE LEADS TO BE 4" AT A MINIMUM SLOPE OF 1.0%.
  2. ALL DUAL SANITARY SERVICE LEADS TO BE 6" AT A MINIMUM SLOPE OF 0.5%.



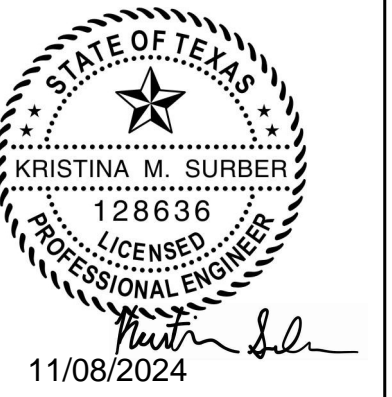
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PREPARED FOR:  
**PURE STRIKE DEVELOPMENT**  
 LP & B&T REALTY  
 P. O. BOX 10421  
 COLLEGE STATION, TX 77842

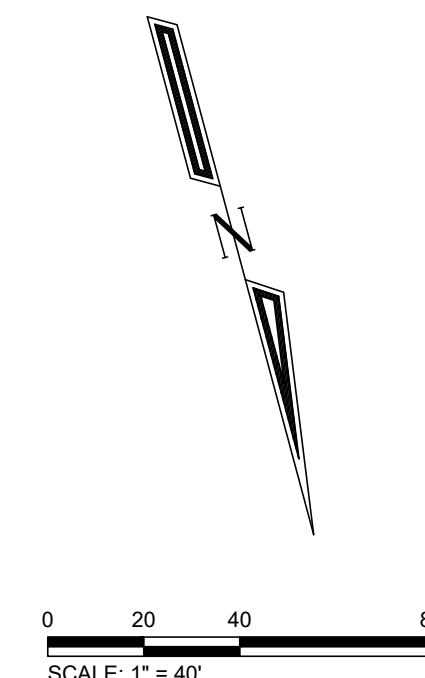
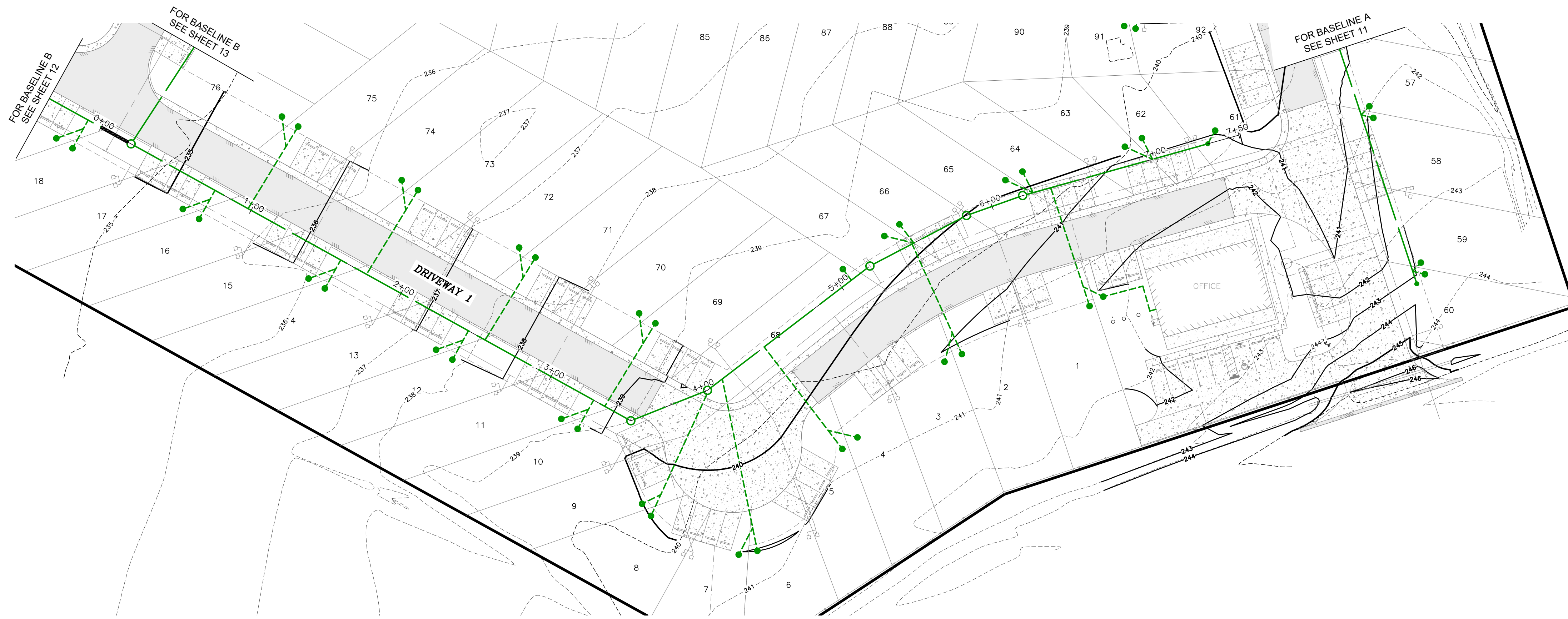
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**SANITARY P&P BASE LINE B**  
 STA 4+50 TO 10+75  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

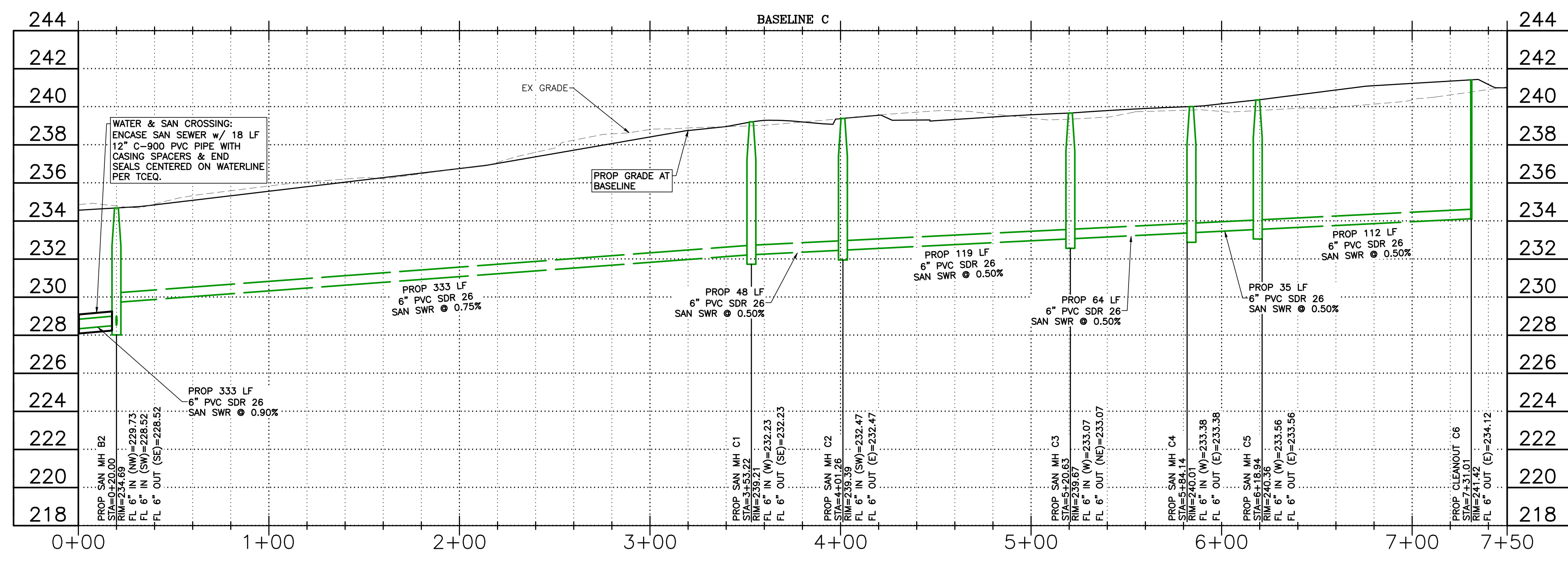


DESIGN: KMS	RVW: TOW
CAD: KMS	PROJECT NO: 13118
SHEET: 13	OF: 27



LEGEND	
	SANITARY SEWER LINE
	SANITARY SEWER SERVICE LEAD
	MANHOLE
	SERVICE CONNECTION
	CLEANOUT

- SANITARY SEWER SERVICE NOTES:**
1. ALL SINGLE SANITARY SERVICE LEADS TO BE 4" AT A MINIMUM SLOPE OF 1.0%.
  2. ALL DUAL SANITARY SERVICE LEADS TO BE 6" AT A MINIMUM SLOPE OF 0.5%.



REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
**PURE STRIKE DEVELOPMENT LP & B&T REALTY**  
 P.O. BOX 10421  
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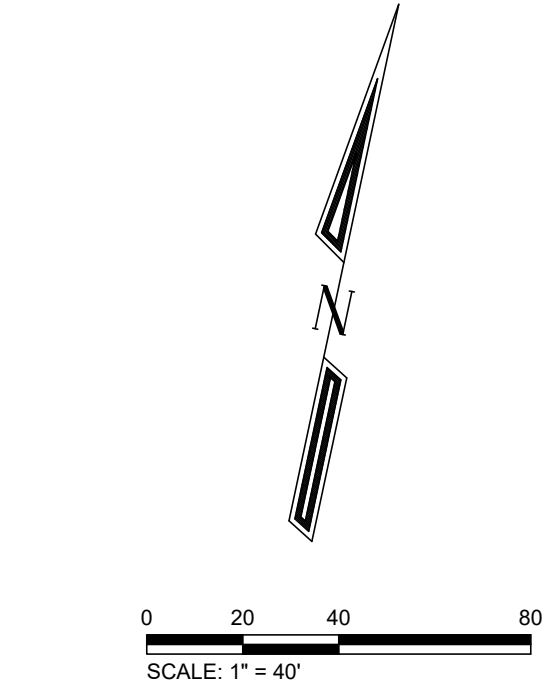
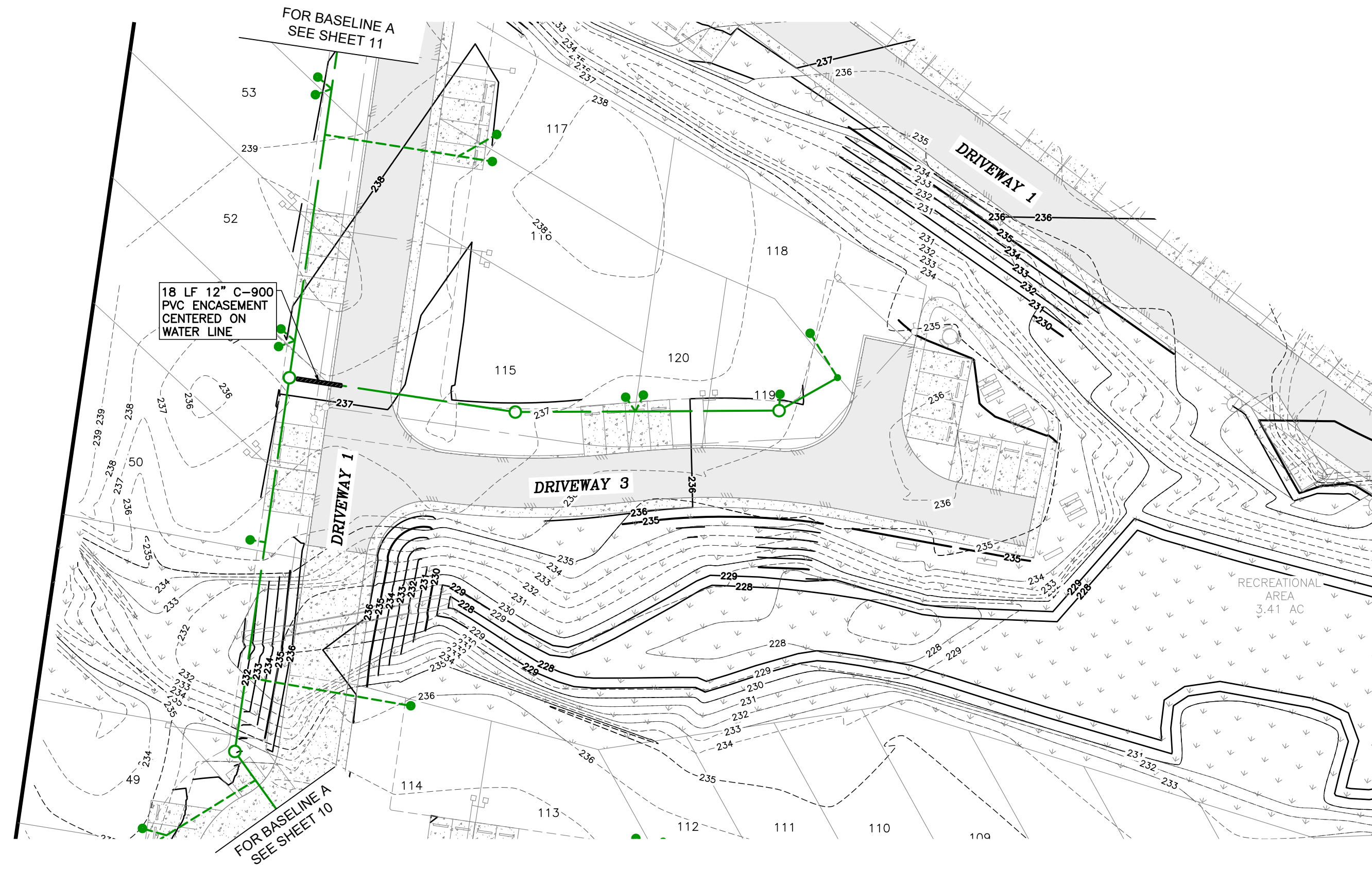
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**SANITARY P&P BASE LINE C**  
 STA 0+00 TO 7+50  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

11/08/2024

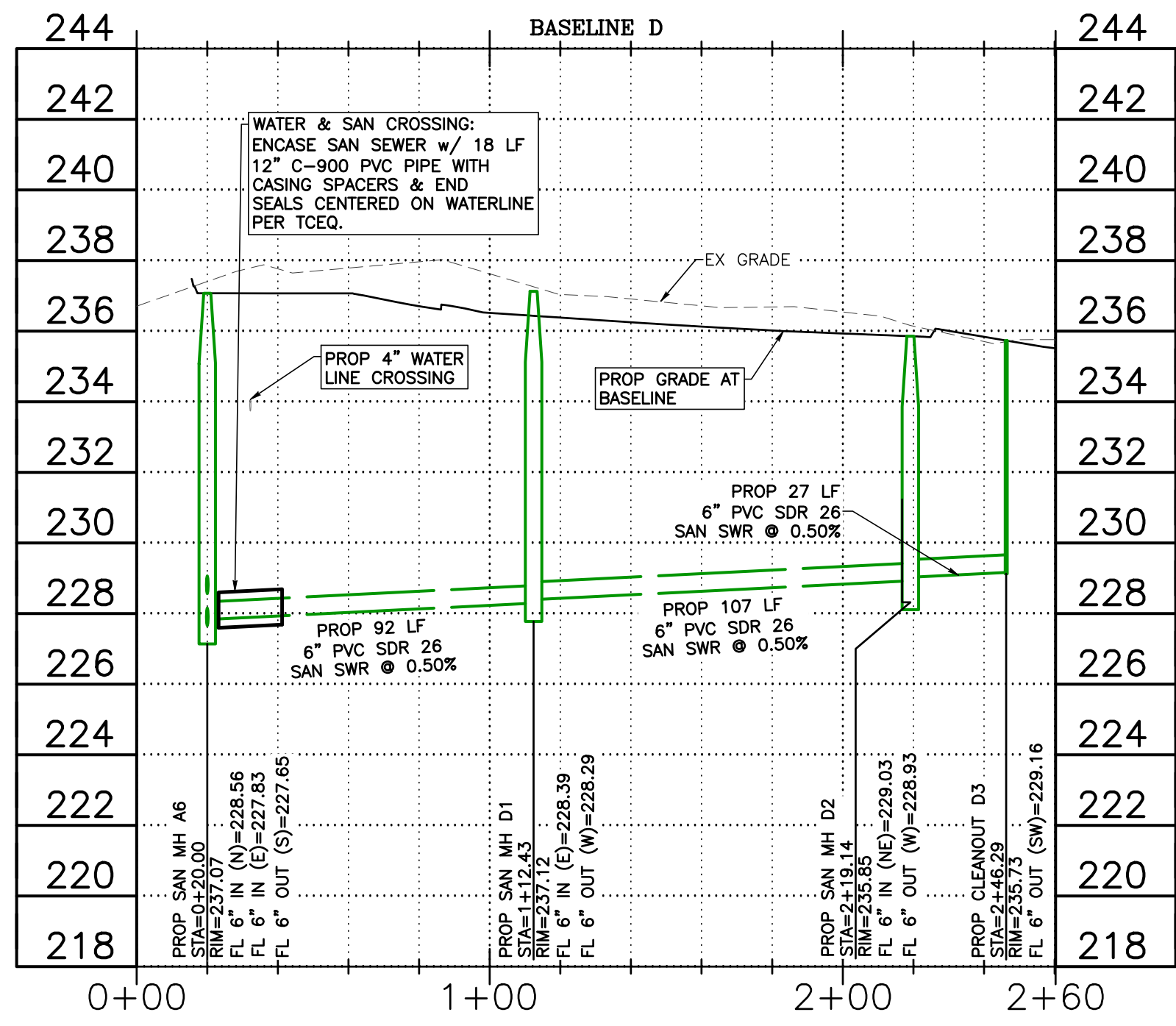
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 PROJECT NO: 13118  
 SHEET: 14 OF: 27



**LEGEND**

	SANITARY SEWER LINE
	SANITARY SEWER SERVICE LEAD
	MANHOLE
	SERVICE CONNECTION
	CLEANOUT

- SANITARY SEWER SERVICE NOTES:**
1. ALL SINGLE SANITARY SERVICE LEADS TO BE 4" AT A MINIMUM SLOPE OF 1.0%.
  2. ALL DUAL SANITARY SERVICE LEADS TO BE 6" AT A MINIMUM SLOPE OF 0.5%.



REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
 PURE STRIKE DEVELOPMENT  
 LP & B&T REALTY  
 P.O. BOX 10421  
 COLLEGE STATION, TX 77842

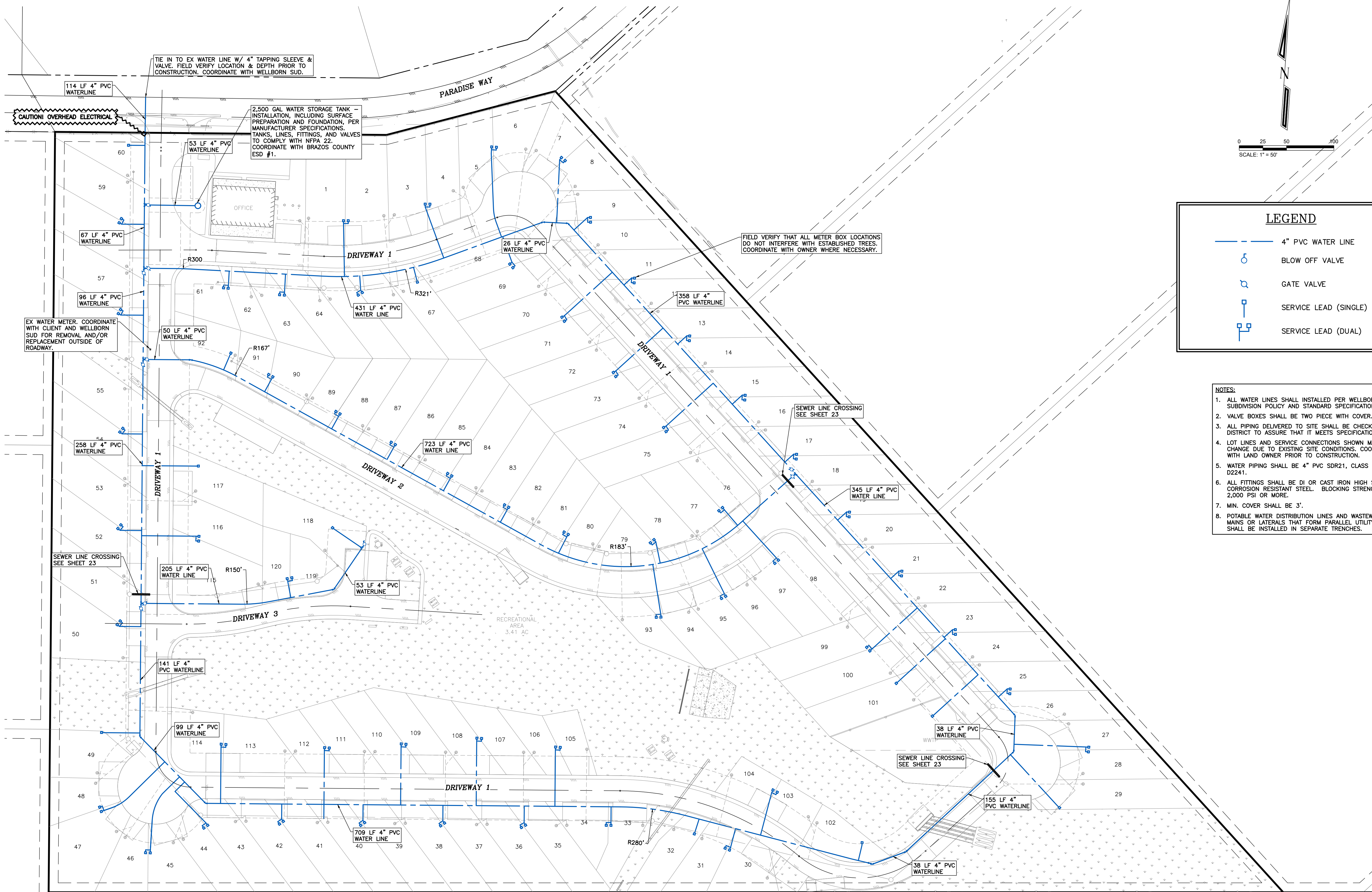
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**SANITARY P&P BASE LINE D**  
 STA 0+00 TO 2+60  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

11/08/2024

DESIGN: KMS  
 CAD: KMS    RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 15    OF: 27



**LEGEND**

- 4" PVC WATER LINE
- ⊕ BLOW OFF VALVE
- ⊗ GATE VALVE
- SERVICE LEAD (SINGLE)
- SERVICE LEAD (DUAL)

- NOTES:**
1. ALL WATER LINES SHALL INSTALLED PER WELLBORN SUBDIVISION POLICY AND STANDARD SPECIFICATIONS.
  2. VALVE BOXES SHALL BE TWO PIECE WITH COVER.
  3. ALL PIPING DELIVERED TO SITE SHALL BE CHECKED BY DISTRICT TO ASSURE THAT IT MEETS SPECIFICATION.
  4. LOT LINES AND SERVICE CONNECTIONS SHOWN MAY CHANGE DUE TO EXISTING SITE CONDITIONS. COORDINATE WITH LAND OWNER PRIOR TO CONSTRUCTION.
  5. WATER PIPING SHALL BE 4" PVC SDR21, CLASS 200, ASTM D2241.
  6. ALL FITTINGS SHALL BE DI OR CAST IRON HIGH STRENGTH CORROSION RESISTANT STEEL. BLOCKING STRENGTH OF 2,000 PSI OR MORE.
  7. MIN. COVER SHALL BE 3'.
  8. POTABLE WATER DISTRIBUTION LINES AND WASTEWATER MAINS OR LATERALS THAT FORM PARALLEL UTILITY LINES SHALL BE INSTALLED IN SEPARATE TRENCHES.


PREPARED FOR:  
**PURE STRIKE DEVELOPMENT**  
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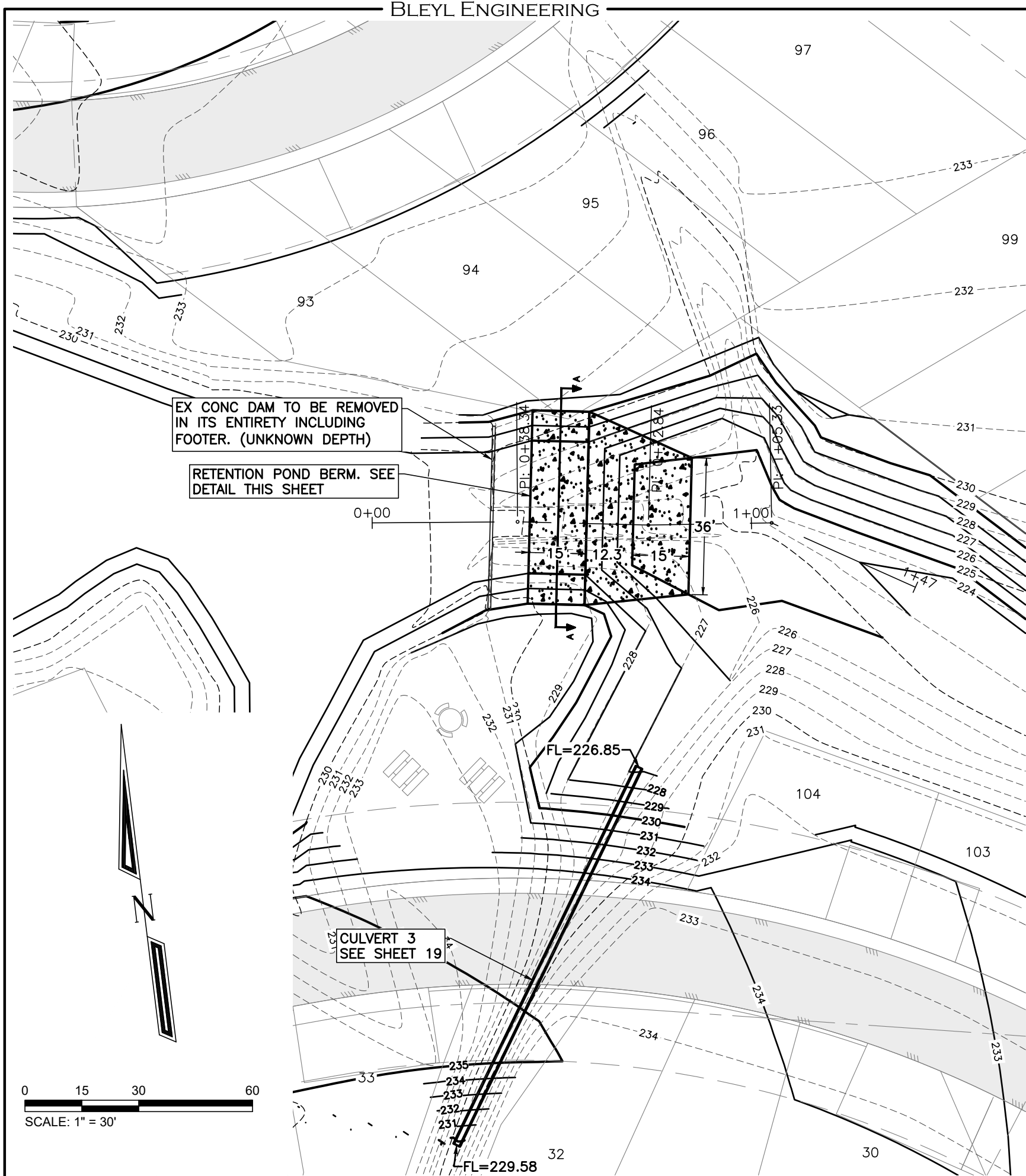
**WATERLINE**  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

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STATE OF TEXAS  
 KRISTINA M. SURBER  
 128636  
 LICENSED PROFESSIONAL ENGINEER  
 11/08/2024

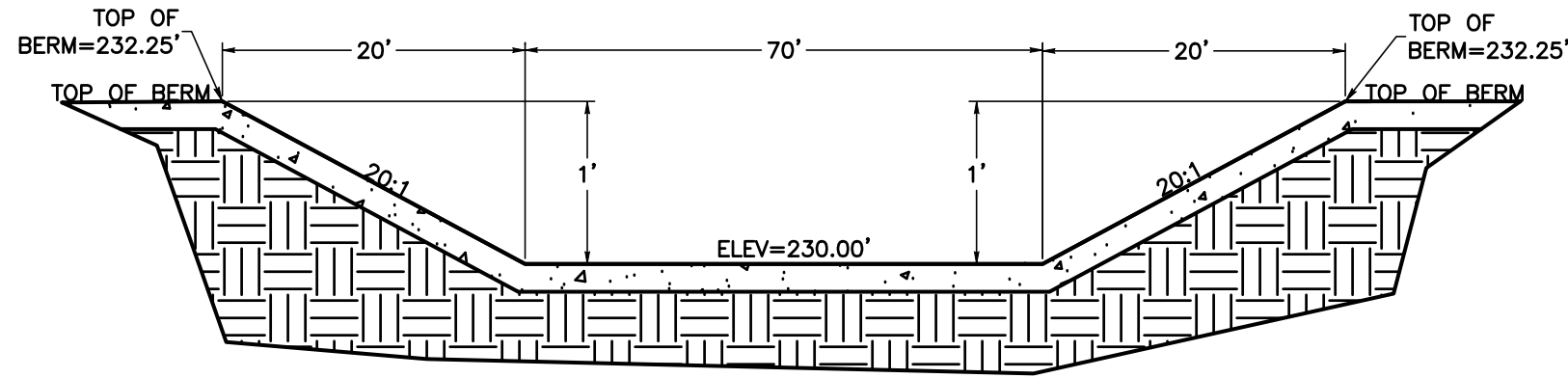
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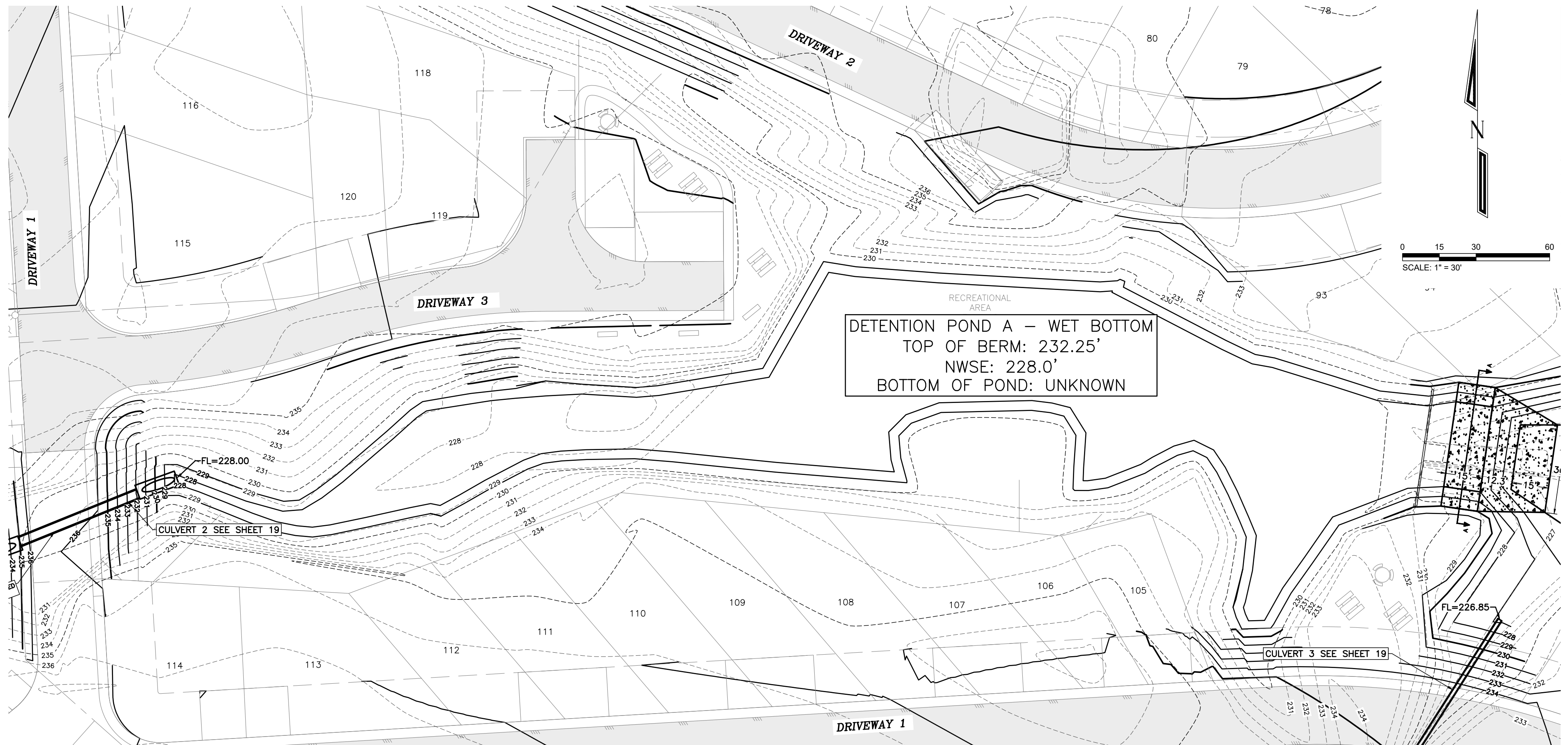
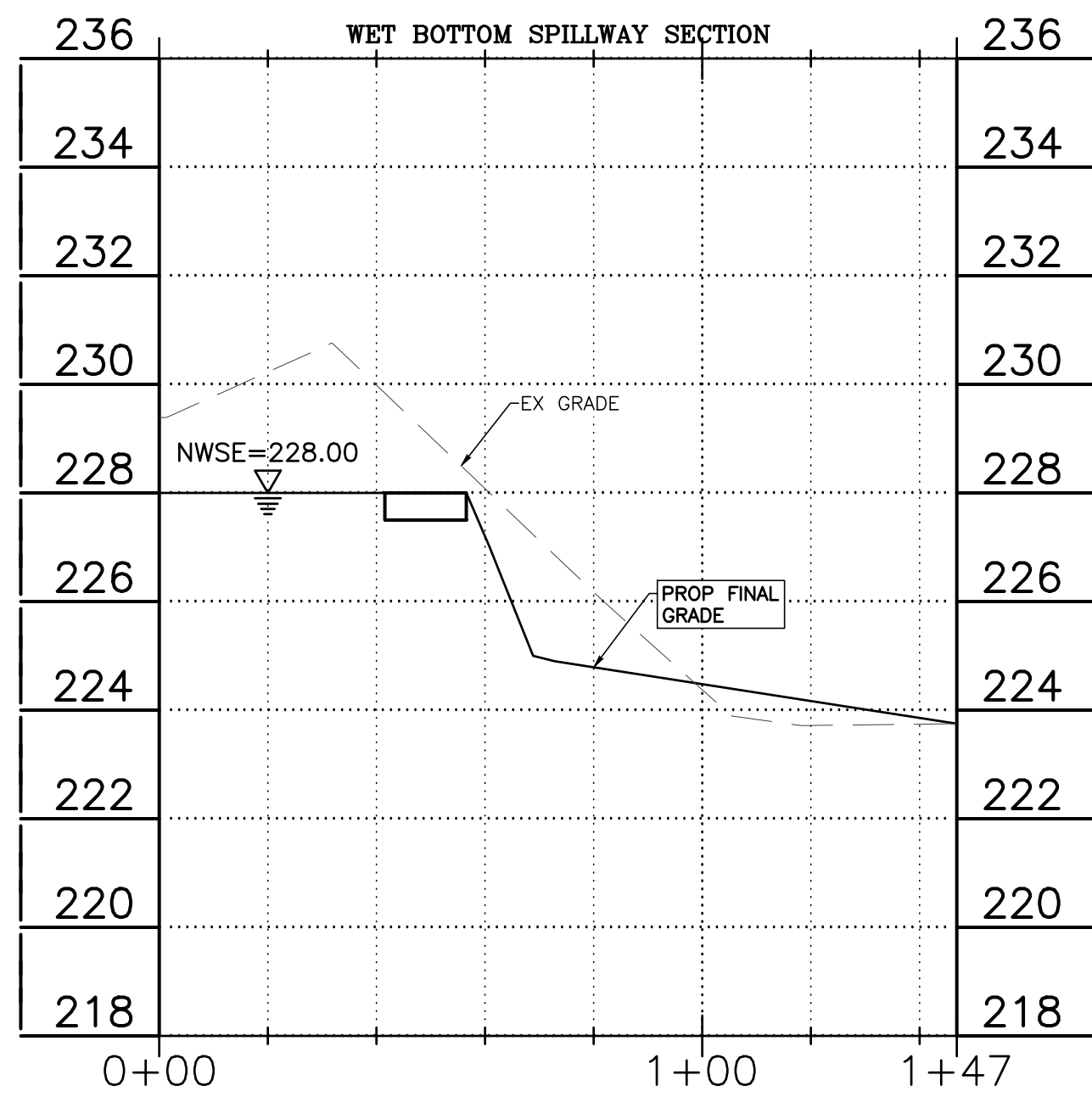


NOTES:

1. OUTFALL TO BE 6" THICK WITH #3 REBAR AT 18" O.C.E.W. MAXIMUM, MINIMUM 3" COVER FOR ALL REBAR.
2. OUTFALL IS TO BE BACKFILLED WITH CEMENT SAND UP TO THE BOTTOM OF THE CONCRETE SURFACING.



SPILLWAY SECTION A-A  
N.T.S.



PREPARED FOR:

PURE STRIKE DEVELOPMENT  
 LP & B&T REALTY  
 P. O. BOX 10421  
 COLLEGE STATION, TX 77842

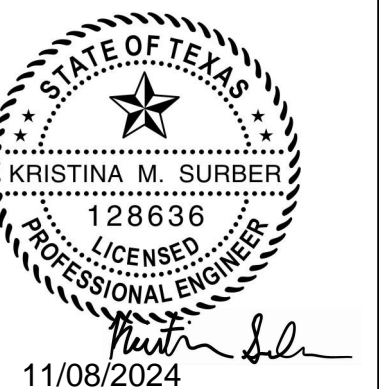
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RETENTION POND & SPILLWAY PLAN

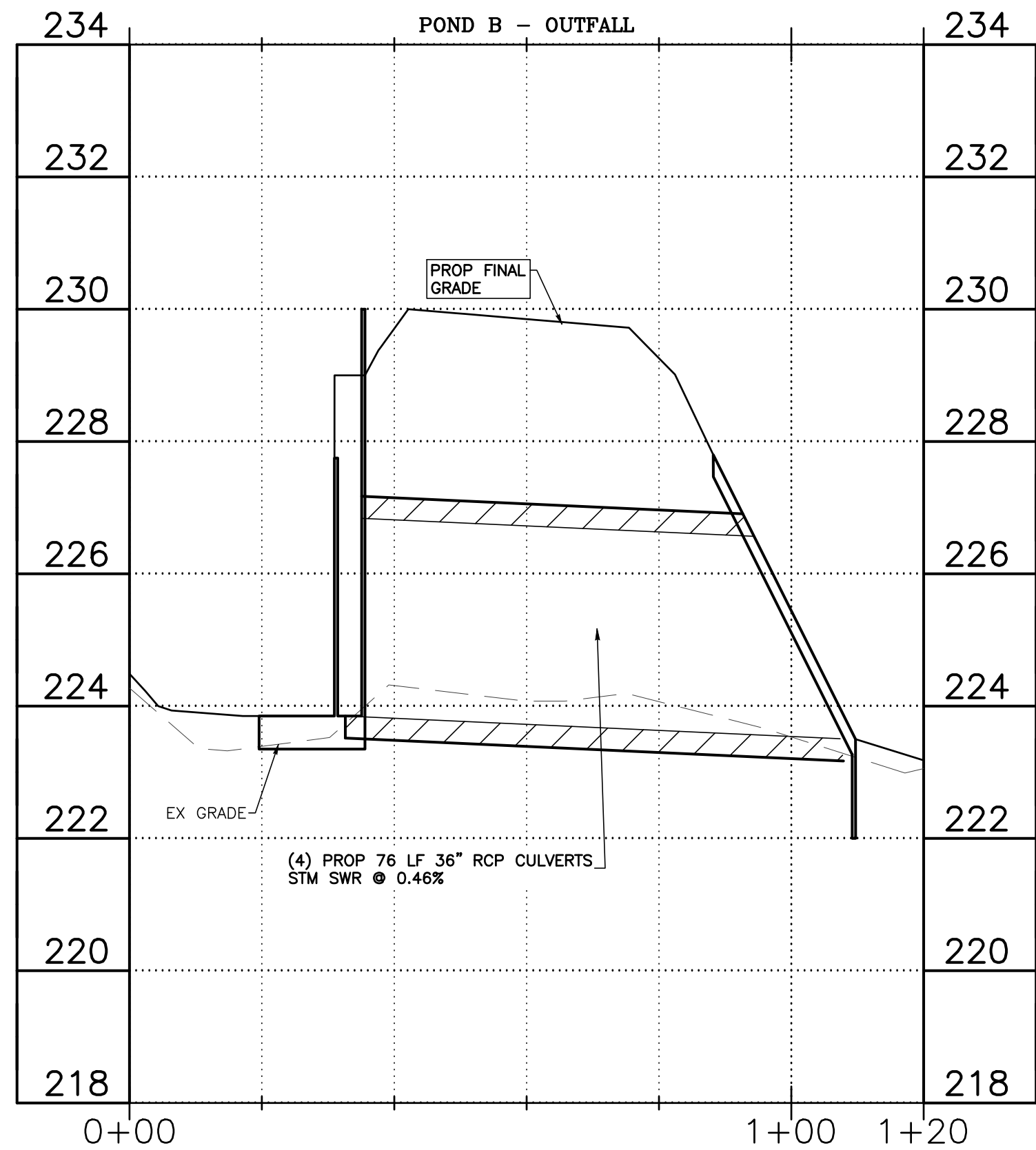
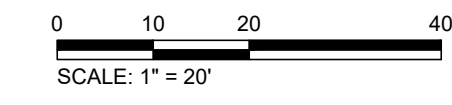
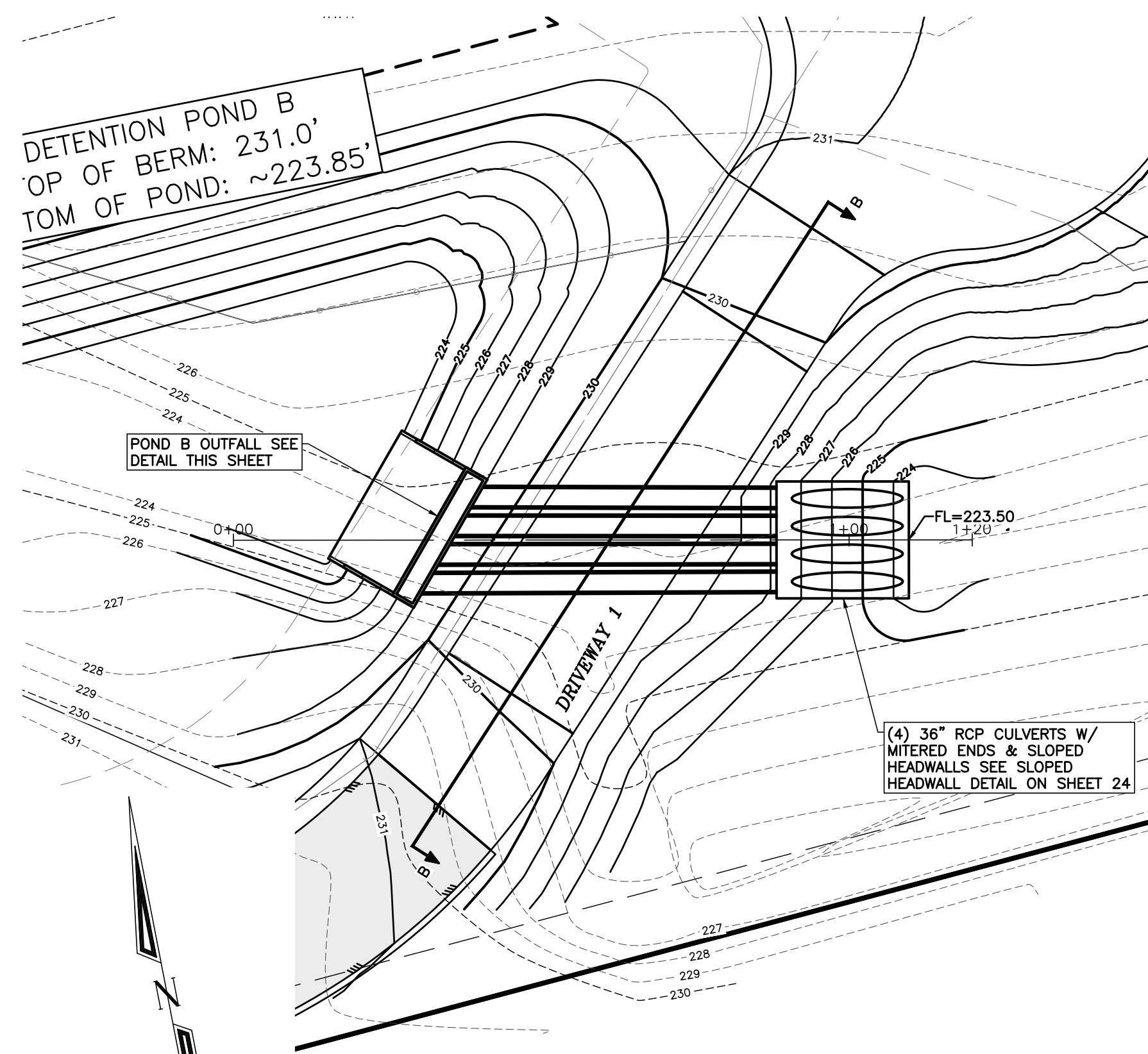
PARADISE WAY MOBILE HOME PARK

LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

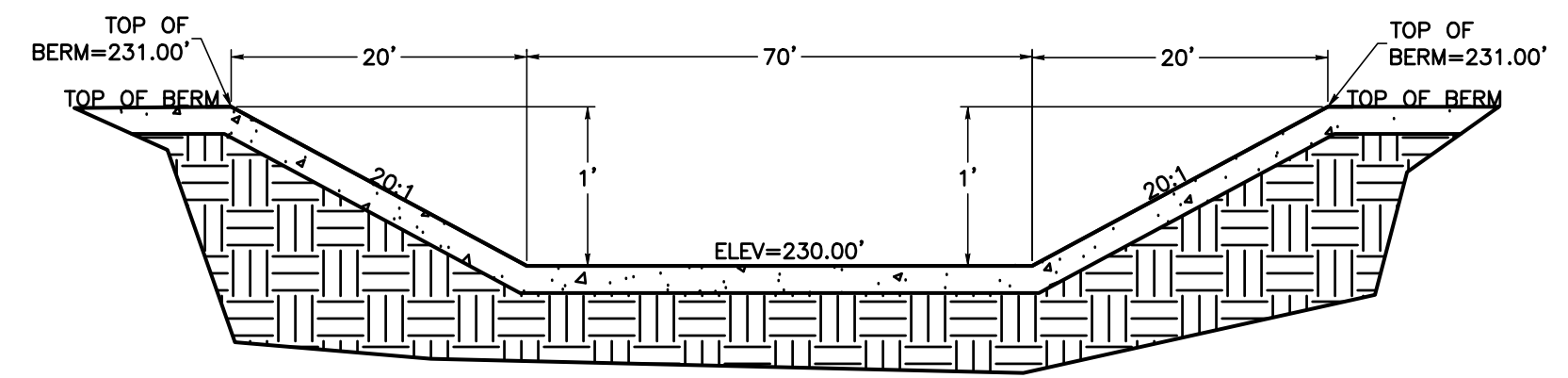
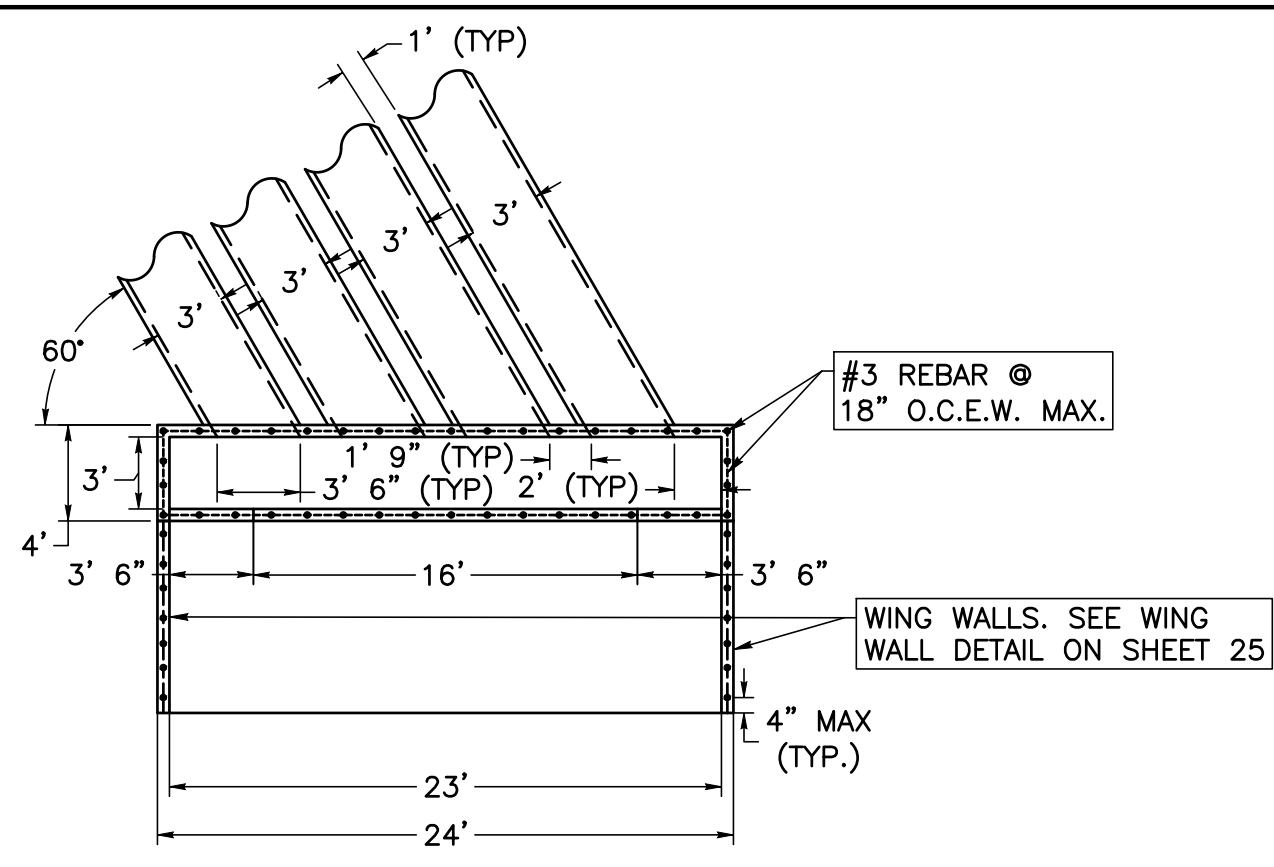


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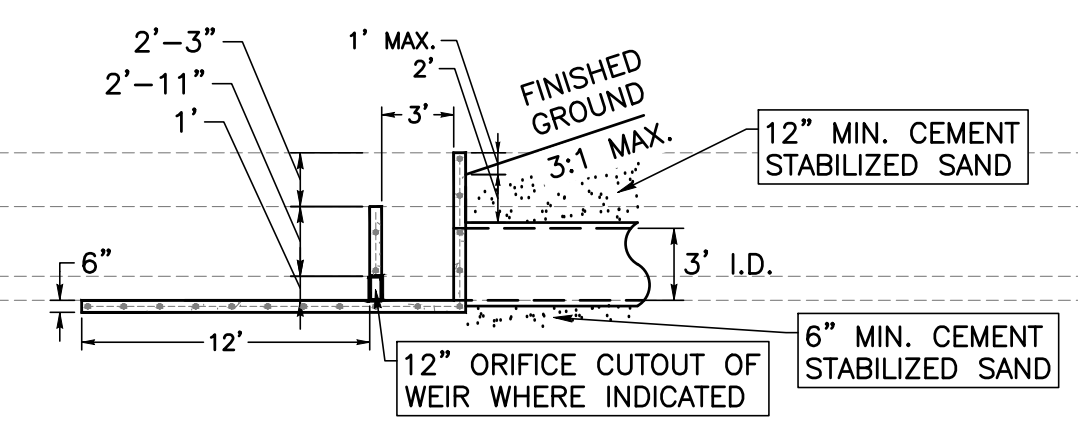
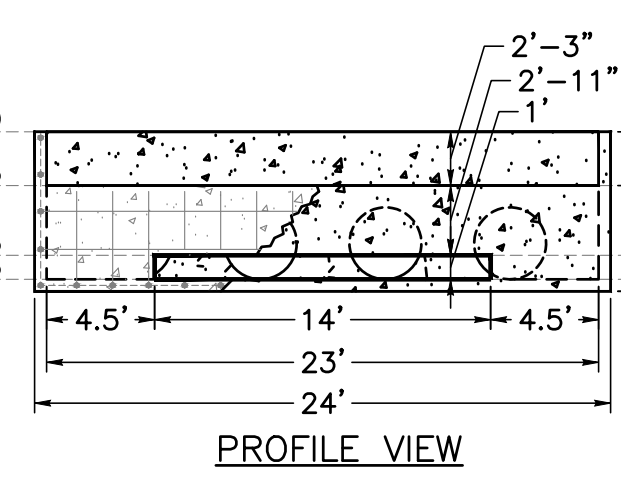
REV	DATE	BY	APP	COMMENT



- NOTES:
1. OUTFALL WALLS TO BE 6" THICK WITH #3 REBAR AT 18" O.C.E.W. MAXIMUM. MINIMUM 3" COVER FOR ALL REBAR.
  2. (4) 36" RCP CULVERTS WITH MITERED ENDS & SLOPED HEADWALLS.
  3. CULVERTS ARE TO BE BACKFILLED WITH CEMENT SAND UP TO THE BOTTOM OF THE STABILIZED SUBGRADE.

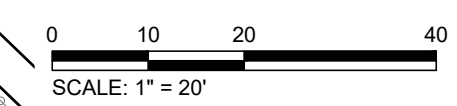
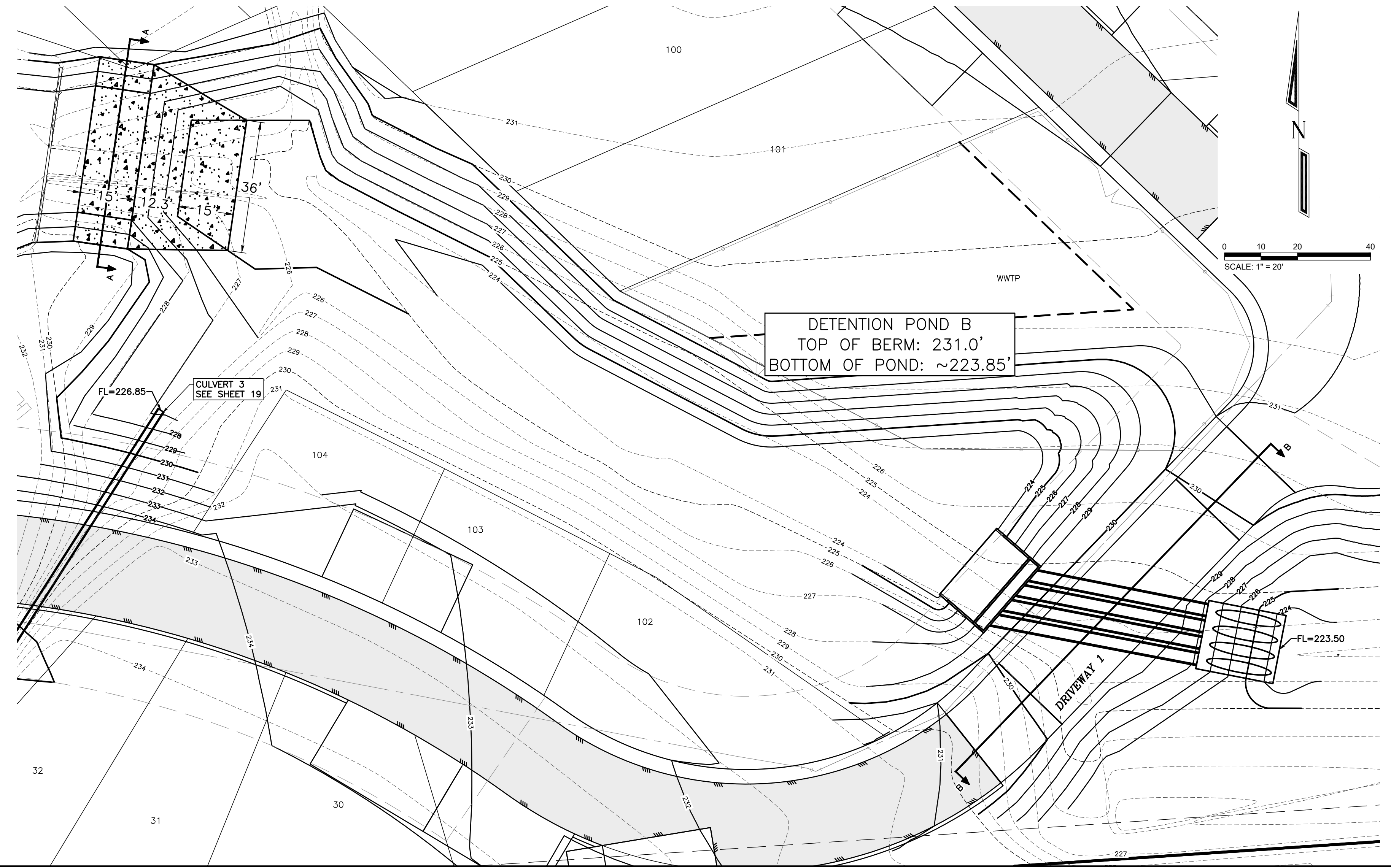


- TOP OF BACK BOX 230.00
- TOP OF RECTANGULAR WEIR 227.75
- TOP OF ORIFICE 224.85
- BOTTOM OF ORIFICE & INSIDE BOTTOM OF BOX 223.85



DETENTION POND B OUTFALL DETAIL

N.T.S.



REV	DATE	BY	APP	COMMENT

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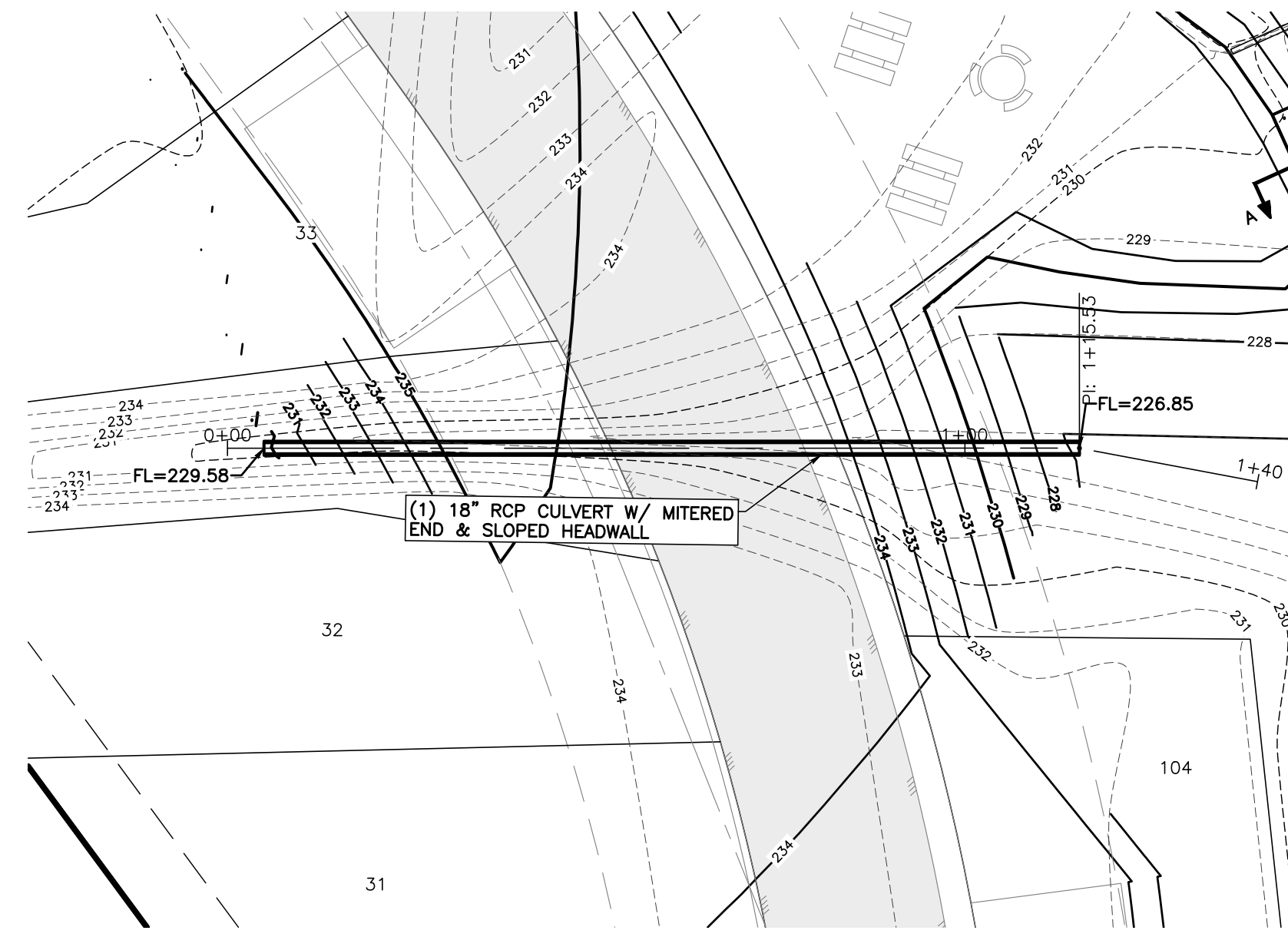
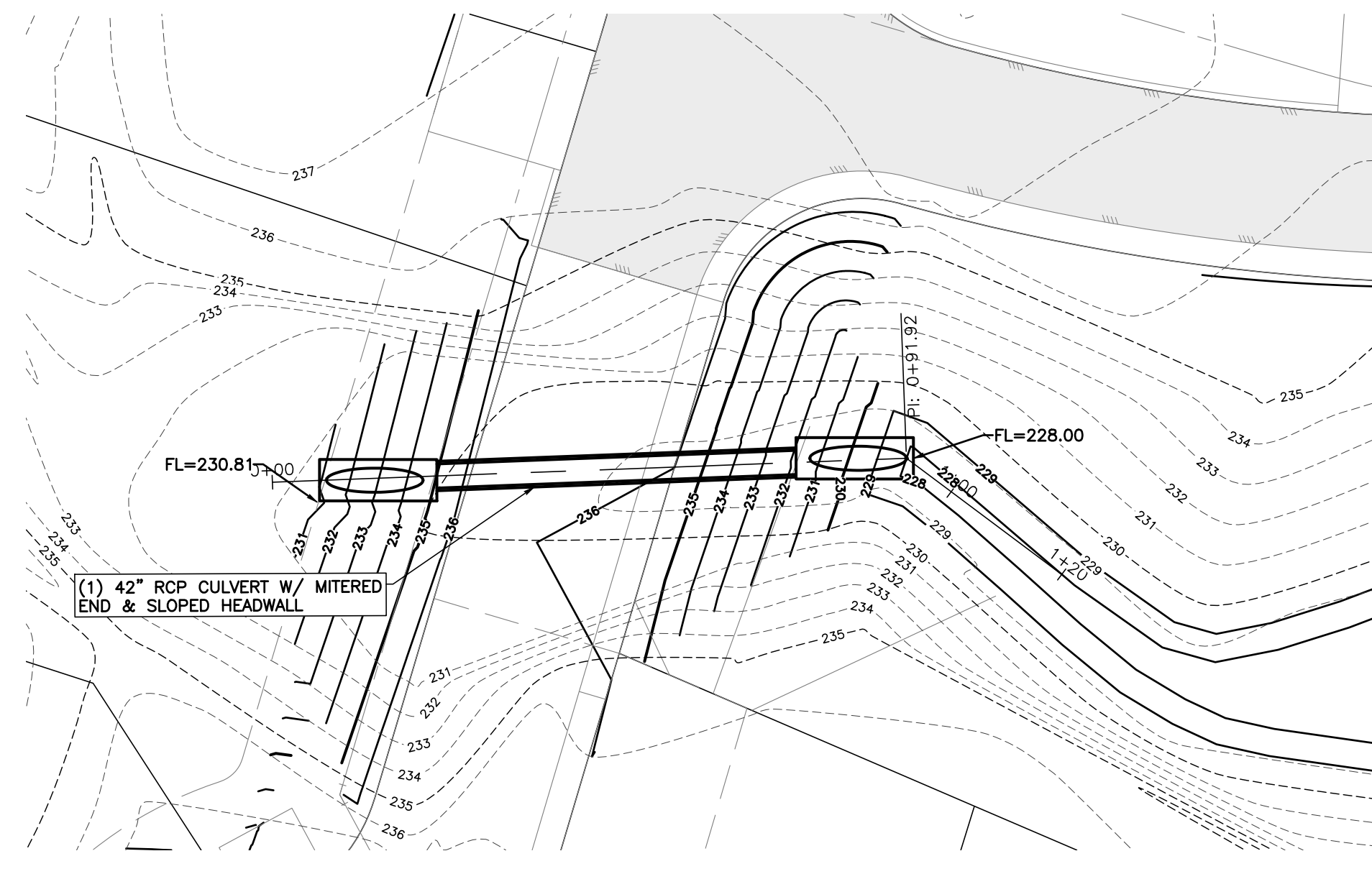
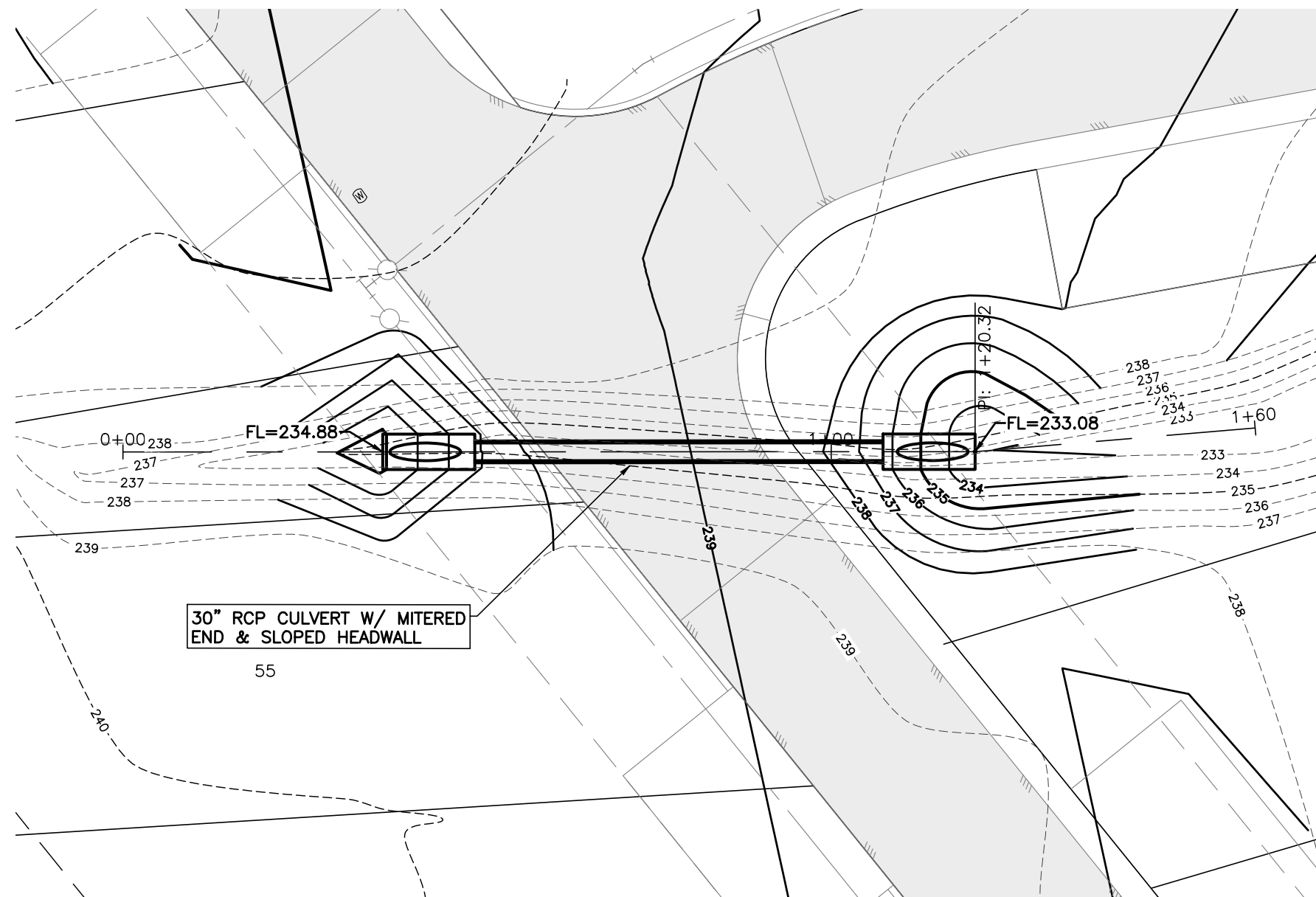
AUSTIN BRYAN CONROE HOUSTON

**POND B, DAM, & SPILLWAY PLAN**  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

STATE OF TEXAS  
 KRISTINA M. SUBBER  
 128636  
 LICENSED PROFESSIONAL ENGINEER  
 11/08/2024

DESIGN: KMS  
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 PROJECT NO: 13118  
 SHEET: 18 OF: 27

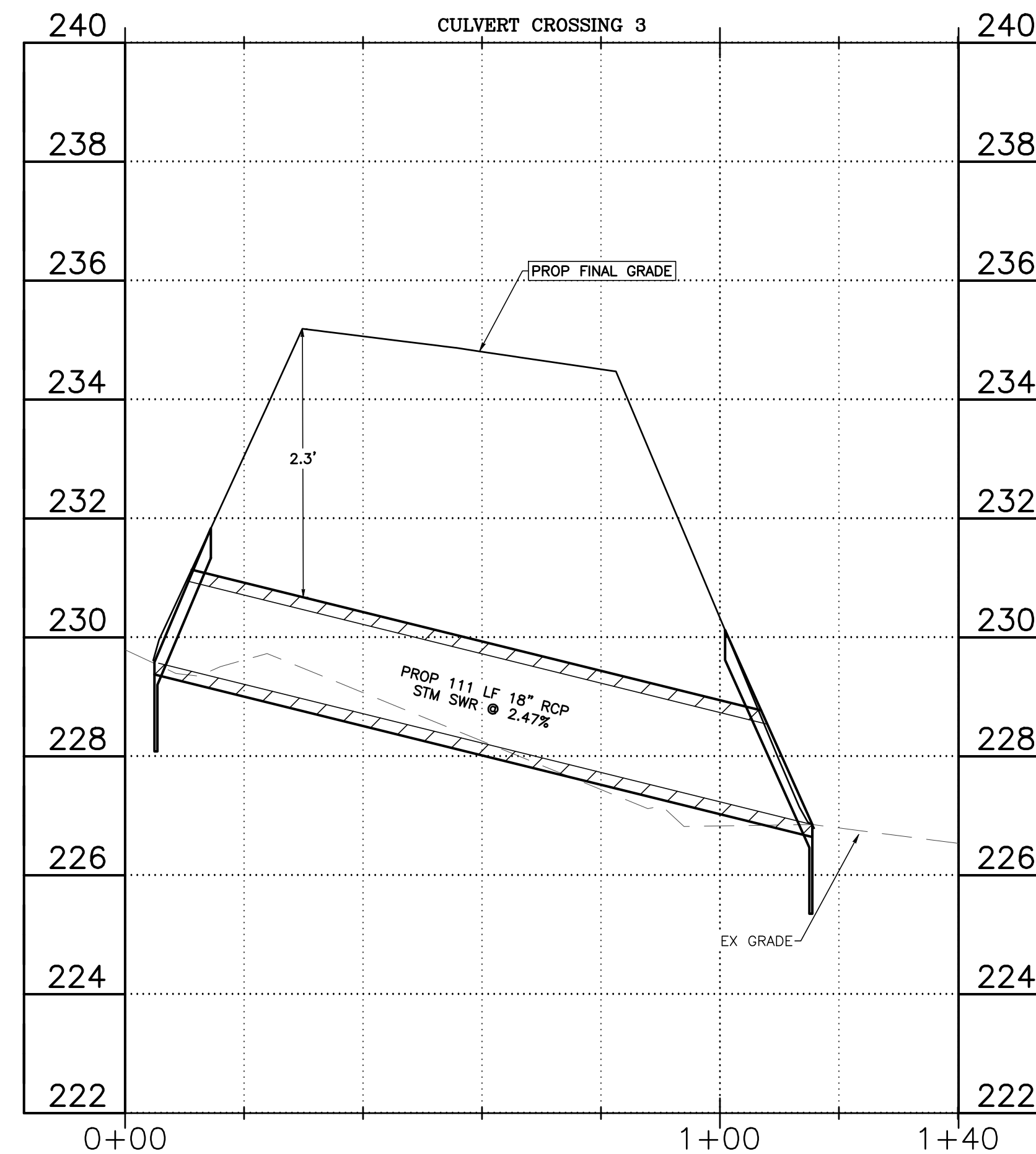
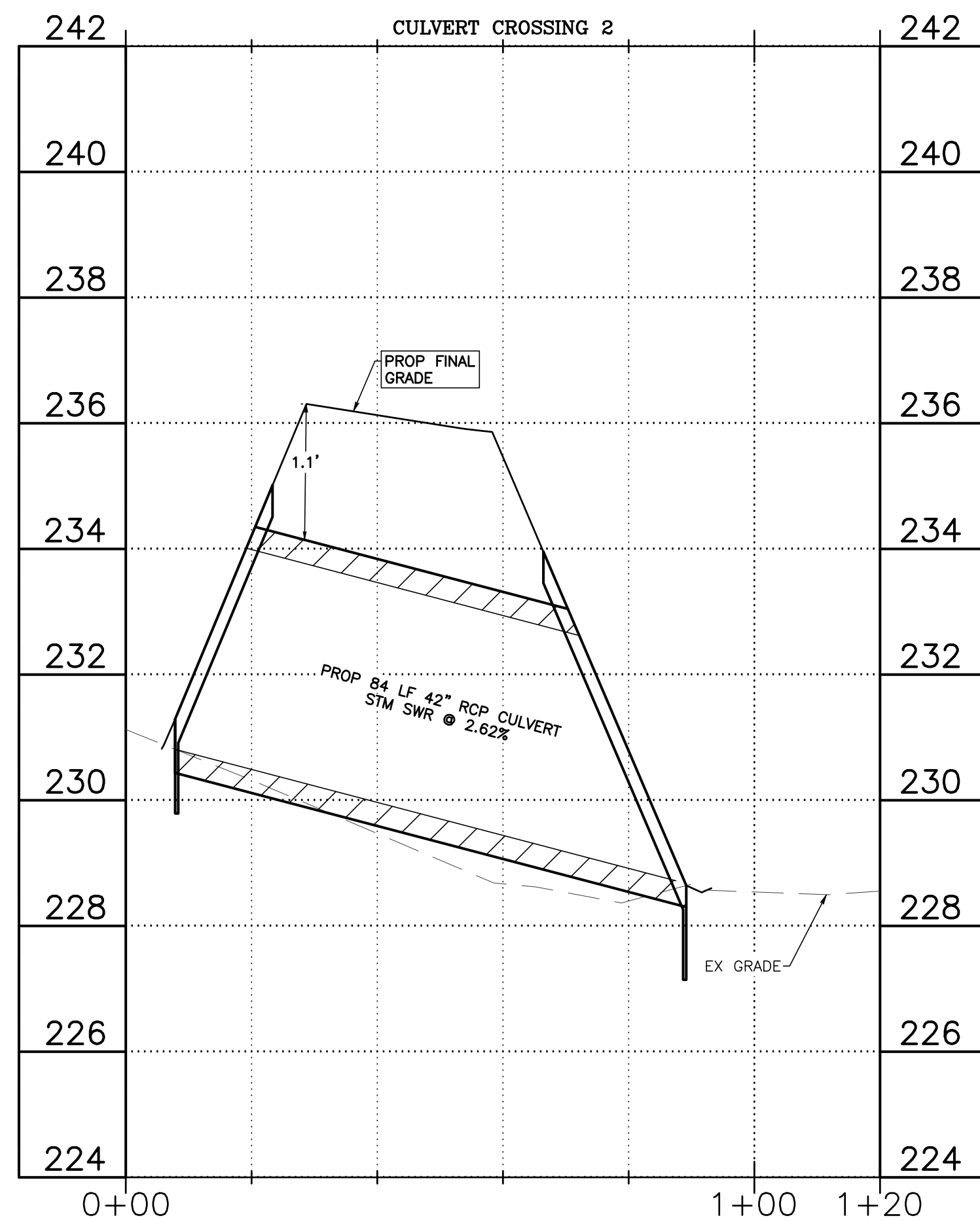
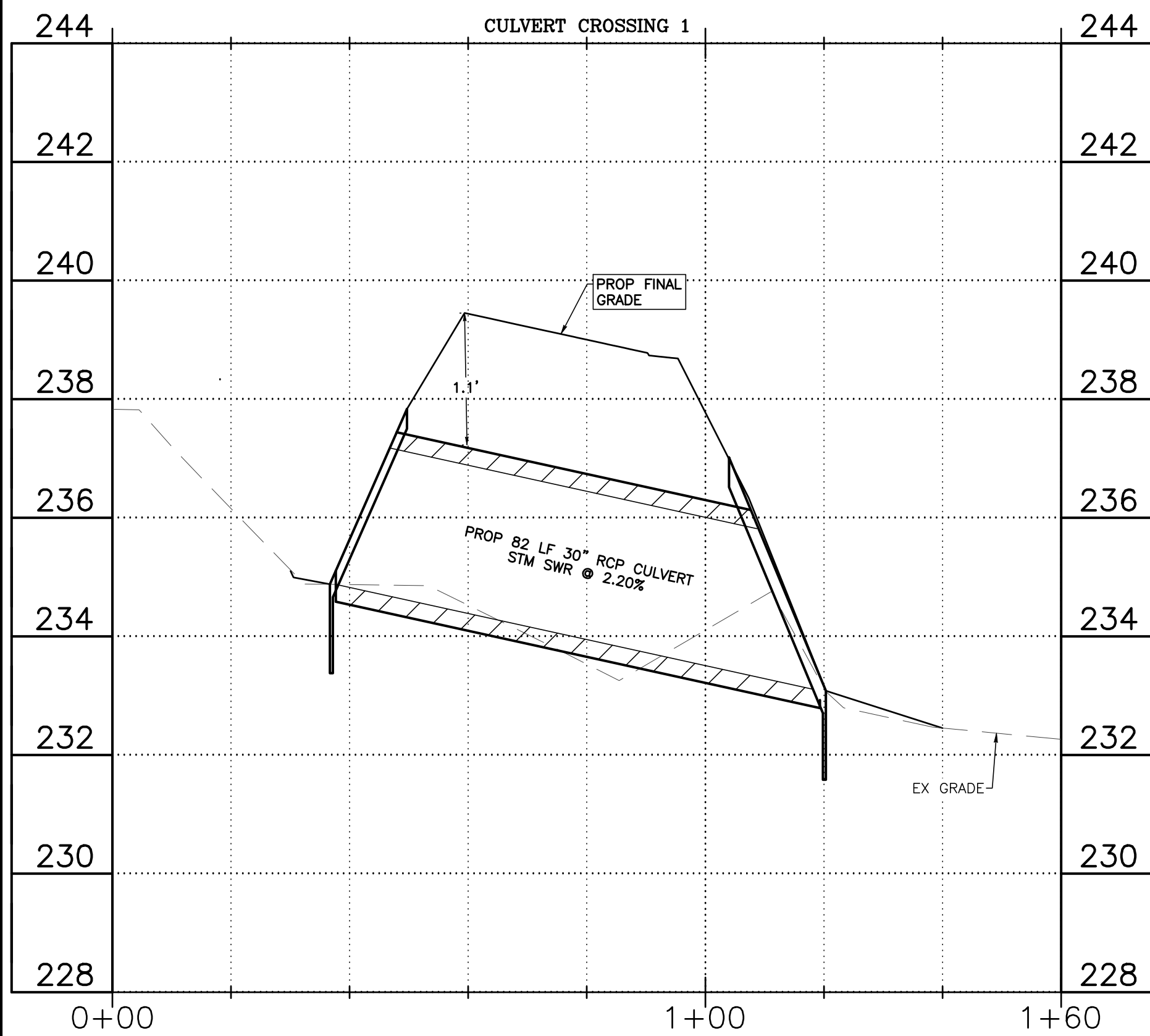
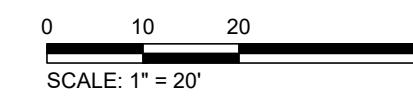
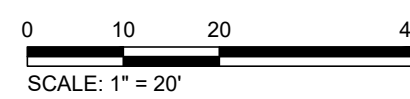
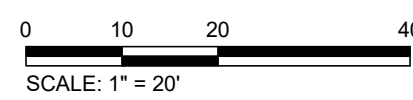
NOTES:  
 - CULVERTS ARE TO BE MITERED TO CONFORM TO SLOPE  
 - CULVERTS ARE TO BE BACKFILLED WITH CEMENT SAND UP TO THE BOTTOM OF THE STABILIZED SUBGRADE



CULVERT CROSSING 1  
 DRIVEWAY 1  
 STA: 13+28.32

CULVERT CROSSING 2  
 DRIVEWAY 1  
 STA: 16+27.49

CULVERT CROSSING 3  
 DRIVEWAY 1  
 STA: 22+75.24



REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
 PURE STRIKE DEVELOPMENT  
 LP & B&T REALTY  
 P.O. BOX 10421  
 COLLEGE STATION, TX 77842

**BLEYL ENGINEERING**  
 PLANNING • DESIGN • MANAGEMENT  
 1722 Broadmoor, Suite 210, Bryan Tx 77802  
 Texas Firm Registration No. F-678  
 Tel. 979-268-1125 Fax 979-260-3849  
 www.bleylengineering.com

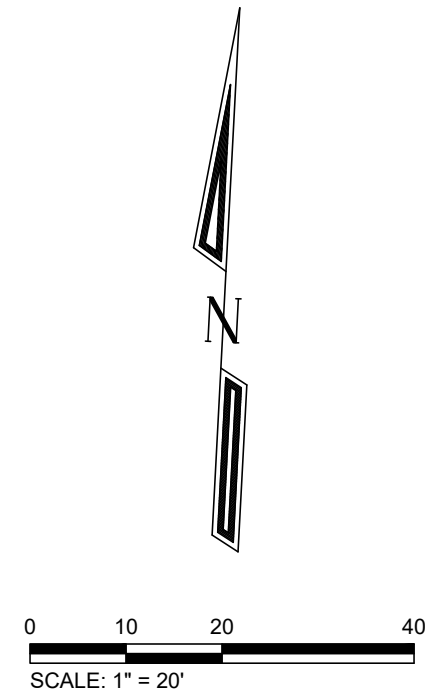
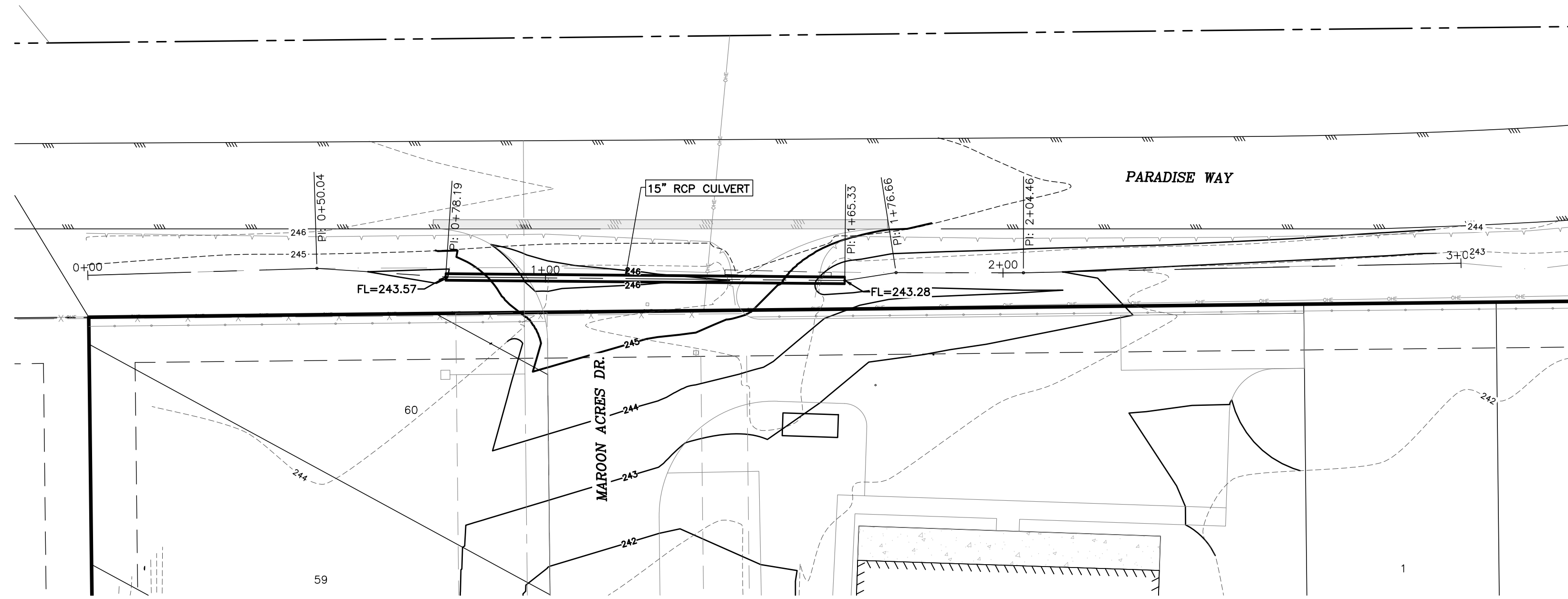
AUSTIN BRYAN CONROE HOUSTON

CULVERT P&P SHEET 1  
 PARADISE WAY MOBILE HOME PARK  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

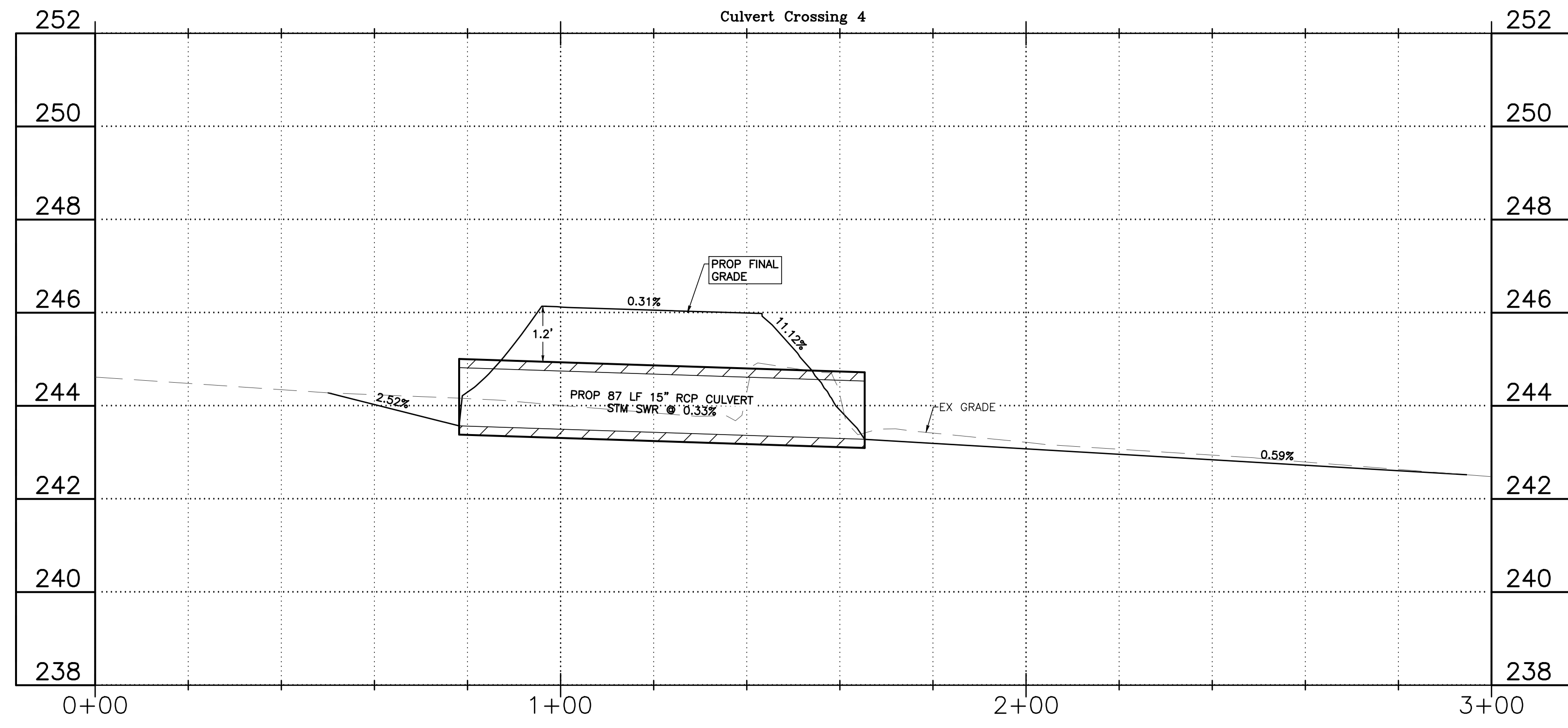
STATE OF TEXAS  
 KRISTINA M. SUBBER  
 128636  
 LICENSED PROFESSIONAL ENGINEER  
 11/08/2024

DESIGN: KMS  
 CAD: KMS RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 19 OF: 27

NOTES:  
 - CULVERTS ARE TO BE MITERED TO CONFORM TO SLOPE  
 - CULVERTS ARE TO BE BACKFILLED WITH CEMENT SAND UP TO THE BOTTOM OF THE STABILIZED SUBGRADE



**CULVERT CROSSING-ENTRANCE**  
**DRIVEWAY 1**  
 STA: 10+38.10



ORIGINAL LAYOUT SIZE - 22X34

K SURBER 11/7/2024 5:05:54 PM Z:\13100\13118 PARADISE WAY\_MHP\_04\_CAD\GD-13118\17-20 DRAINAGE PLANS.DWG


PREPARED FOR:  
 PURE STRIKE DEVELOPMENT  
 LP & B&T REALTY  
 P. O. BOX 10421  
 COLLEGE STATION, TX 77842

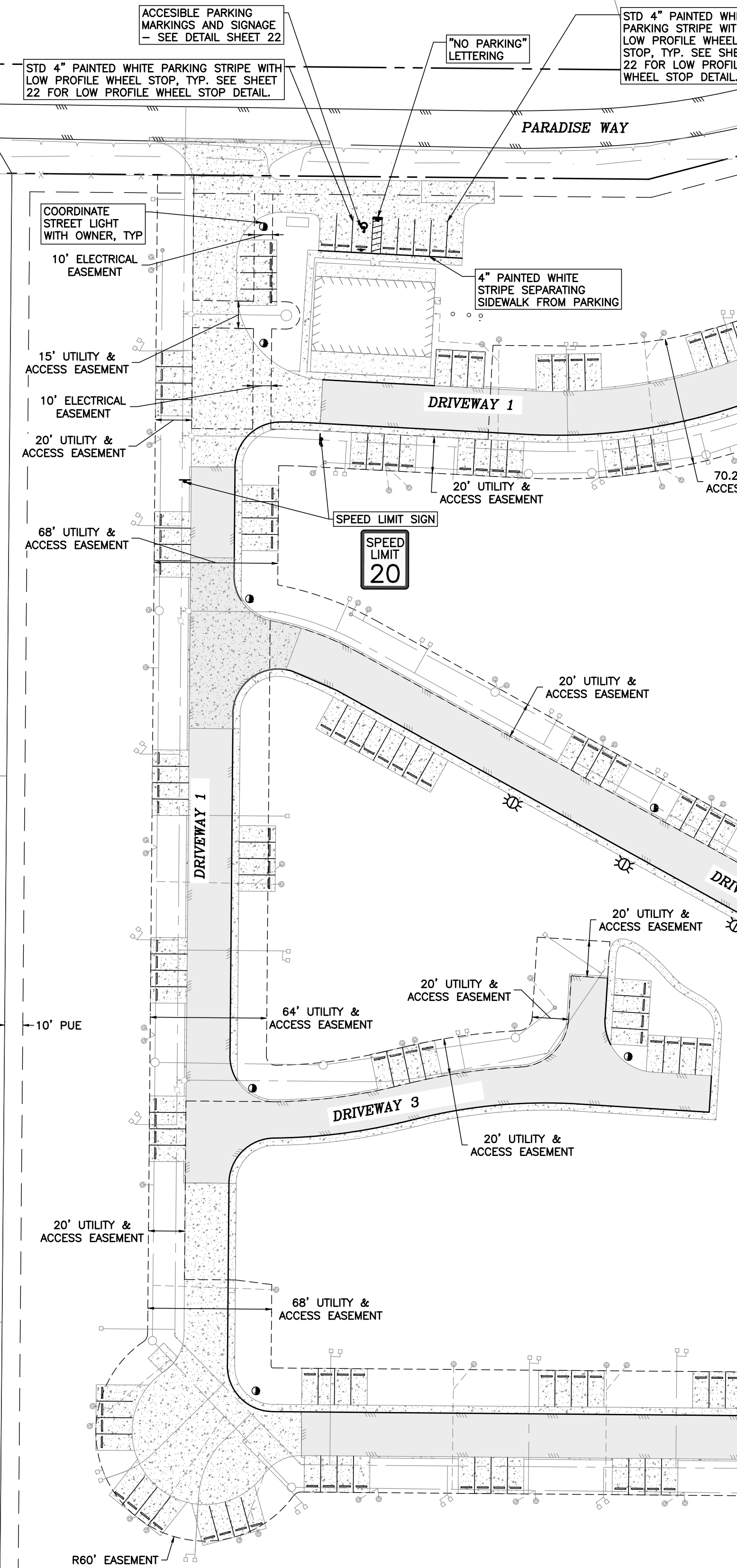
**BLEYL ENGINEERING**  
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 Tel. 979-268-1125 Fax 979-260-3849  
 www.bleylengineering.com

AUSTIN BRYAN CONROE HOUSTON

CULVERT P&P SHEET 2 OF 2  
 PARADISE WAY MOBILE HOME PARK  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

11/08/2024

DESIGN: KMS  
 CAD: KMS RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 20 OF: 27



ACCESSIBLE PARKING MARKINGS AND SIGNAGE - SEE DETAIL SHEET 22

STD 4" PAINTED WHITE PARKING STRIPE WITH LOW PROFILE WHEEL STOP, TYP. SEE SHEET 22 FOR LOW PROFILE WHEEL STOP DETAIL.

"NO PARKING" LETTERING

STD 4" PAINTED WHITE PARKING STRIPE WITH LOW PROFILE WHEEL STOP, TYP. SEE SHEET 22 FOR LOW PROFILE WHEEL STOP DETAIL.

PARADISE WAY

10' PUE

R60' EASEMENT

20' ELECTRICAL EASEMENT

COORDINATE STREET LIGHT WITH OWNER, TYP

10' ELECTRICAL EASEMENT

4" PAINTED WHITE STRIPE SEPARATING SIDEWALK FROM PARKING

DRIVEWAY 1

15' UTILITY & ACCESS EASEMENT

10' ELECTRICAL EASEMENT

20' UTILITY & ACCESS EASEMENT

SPEED LIMIT SIGN

SPEED LIMIT 20

20' UTILITY & ACCESS EASEMENT

70.2' UTILITY & ACCESS EASEMENT

STD 4" PAINTED WHITE PARKING STRIPE WITH LOW PROFILE WHEEL STOP, TYP. SEE SHEET 22 FOR LOW PROFILE WHEEL STOP DETAIL.

68' UTILITY & ACCESS EASEMENT

4" PAINTED WHITE STRIPE SEPARATING SIDEWALK FROM ROAD, TYP

20' UTILITY & ACCESS EASEMENT

20' UTILITY & ACCESS EASEMENT

64' UTILITY & ACCESS EASEMENT

20' UTILITY & ACCESS EASEMENT

20' UTILITY & ACCESS EASEMENT

DRIVEWAY 3

20' UTILITY & ACCESS EASEMENT

68' UTILITY & ACCESS EASEMENT

DRIVEWAY 1

68' UTILITY & ACCESS EASEMENT

20' UTILITY & ACCESS EASEMENT

10' PUE

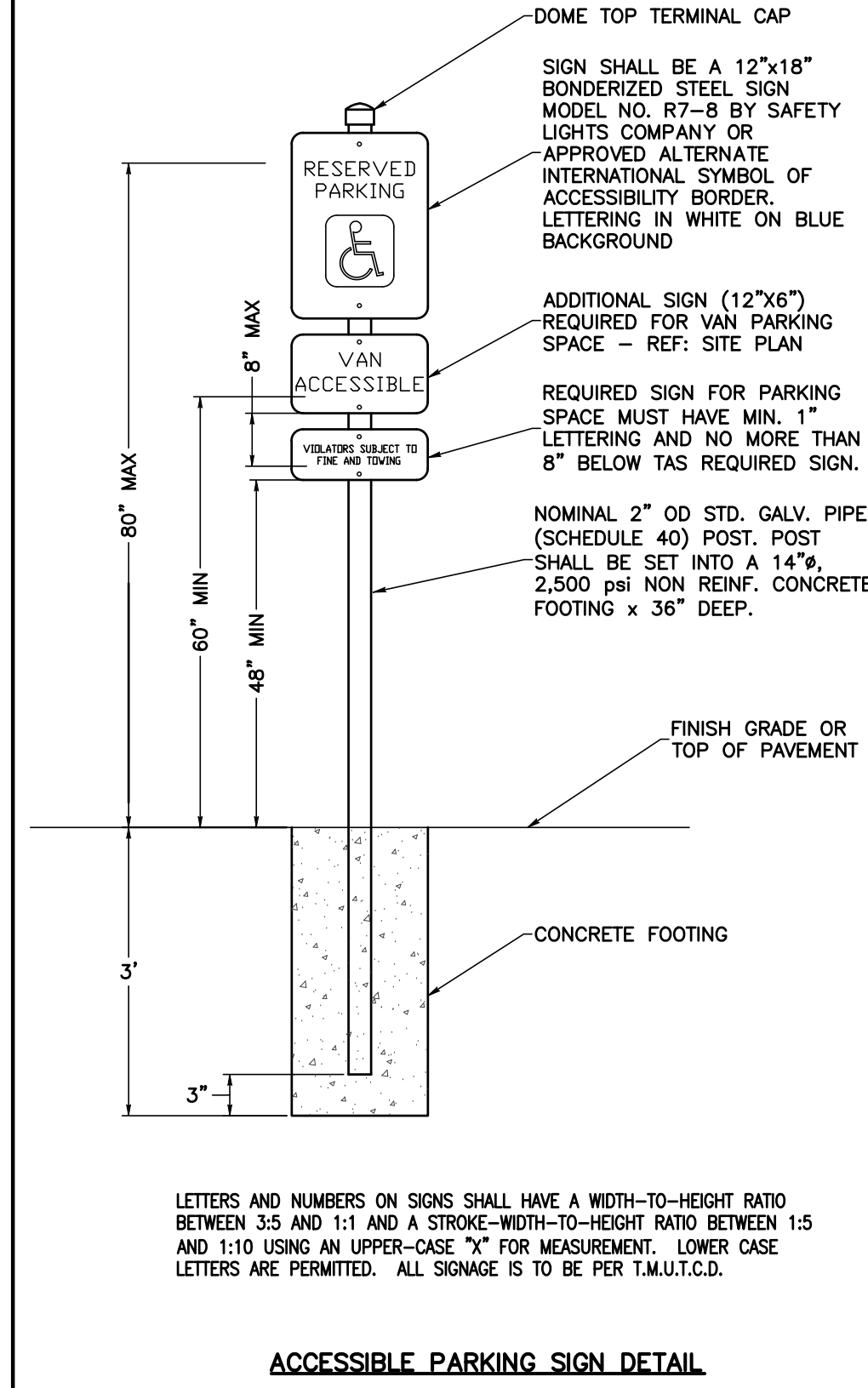
68' UTILITY & ACCESS EASEMENT

DRIVEWAY 1

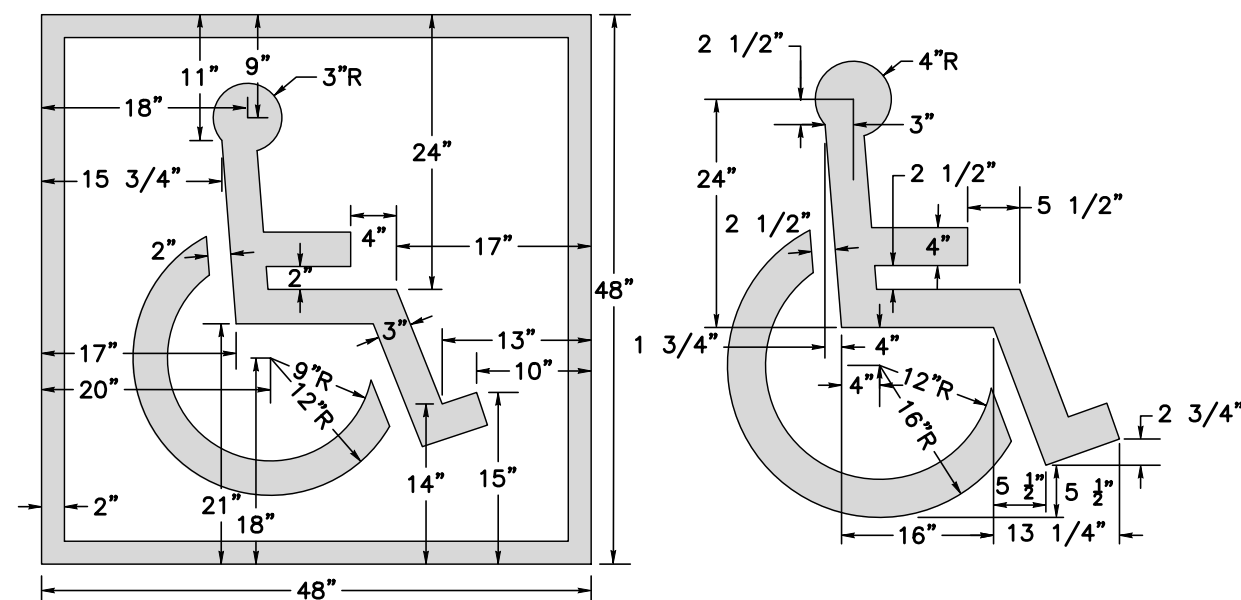
68' UTILITY & ACCESS EASEMENT

R60' EASEMENT

10' PUE

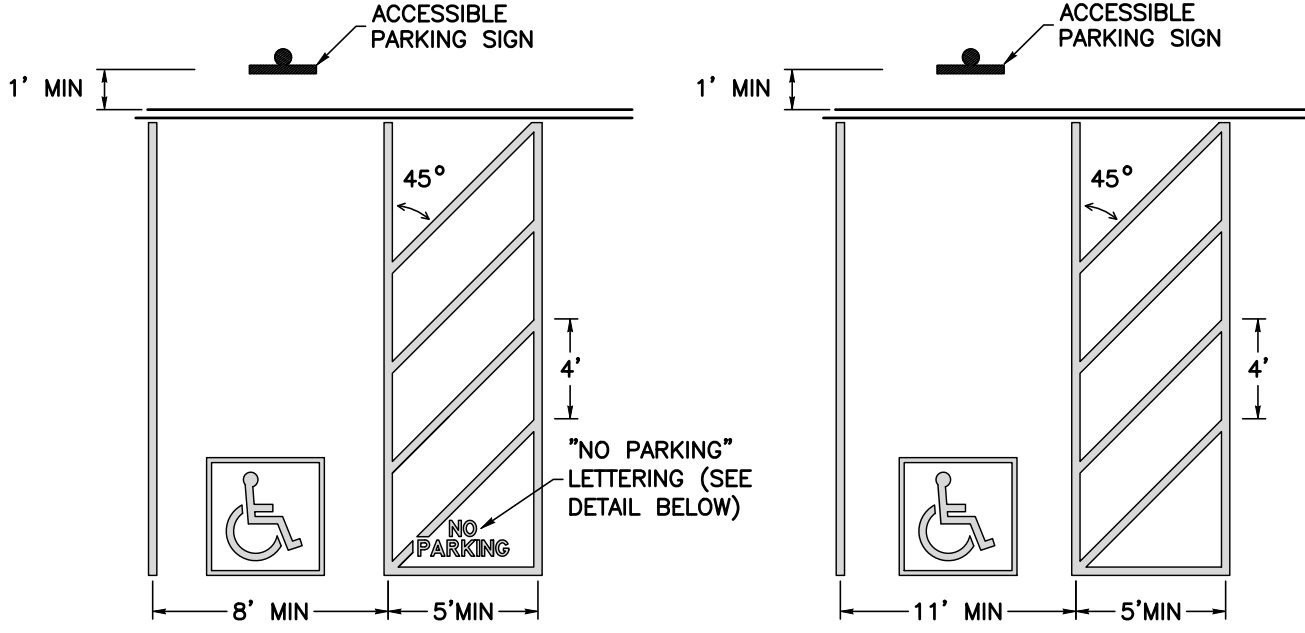


ACCESSIBLE PARKING ADA-103 SCALE: NTS 12/05/19



SYMBOL & BORDER: WHITE BACKGROUND: BLUE

SYMBOL: BLUE OR WHITE



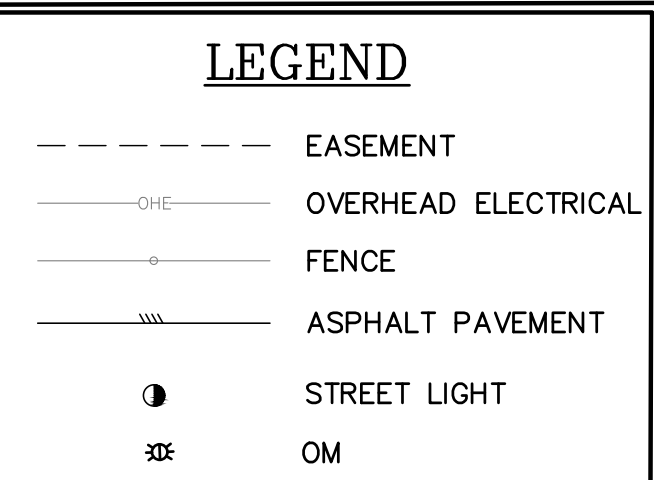
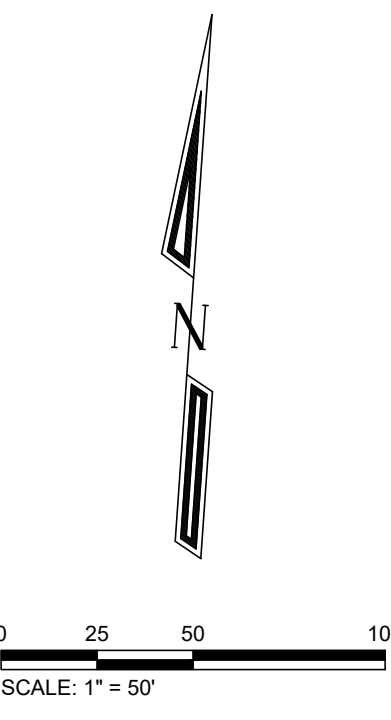
TYPICAL ACCESSIBLE PARKING SPACE DIMENSIONS

TYPICAL VAN ACCESSIBLE PARKING SPACE DIMENSIONS



"NO PARKING" LETTER DIMENSIONS

\*LETTERS SHALL BE IN ALL CAPS AND MINIMUM OF TWELVE INCHES IN HEIGHT AND TWO INCHES IN BRUSH STROKE. TO BE PLACED CENTERED WITHIN EACH ACCESS AISLE ADJACENT TO PARKING SPACE.



REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
 PURE STRIKE DEVELOPMENT LP & B&T REALTY  
 P.O. BOX 10421  
 COLLEGE STATION, TX 77842

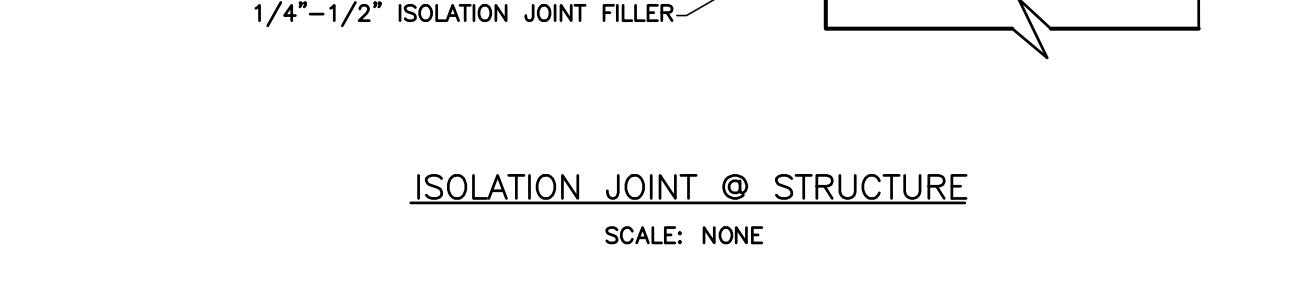
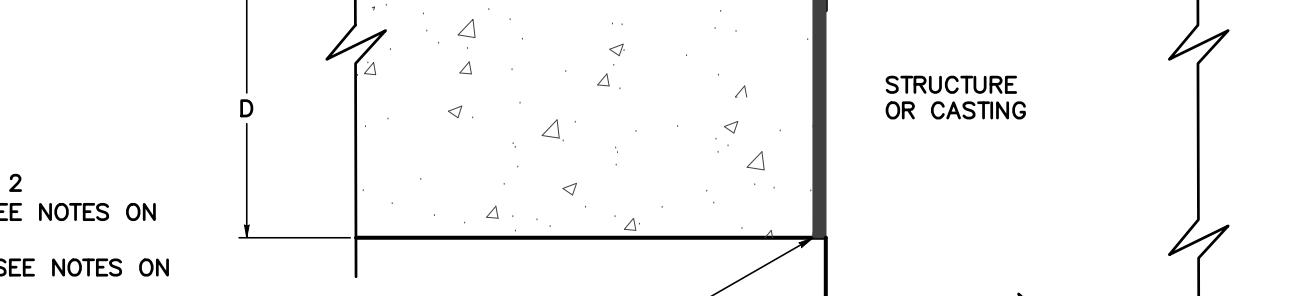
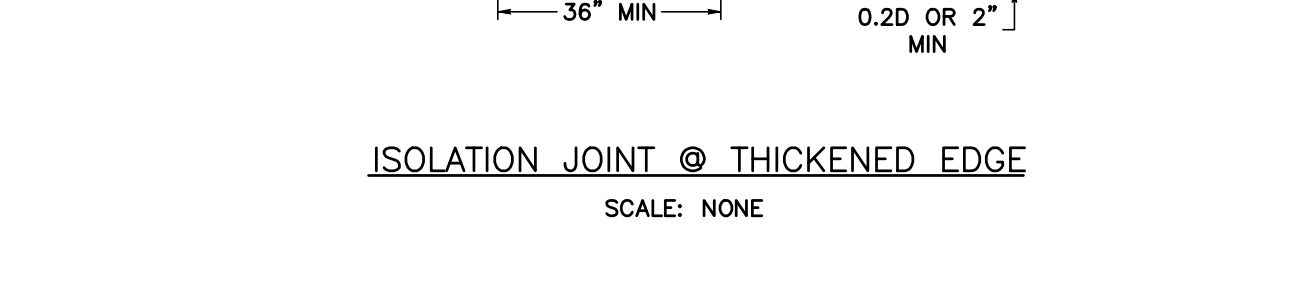
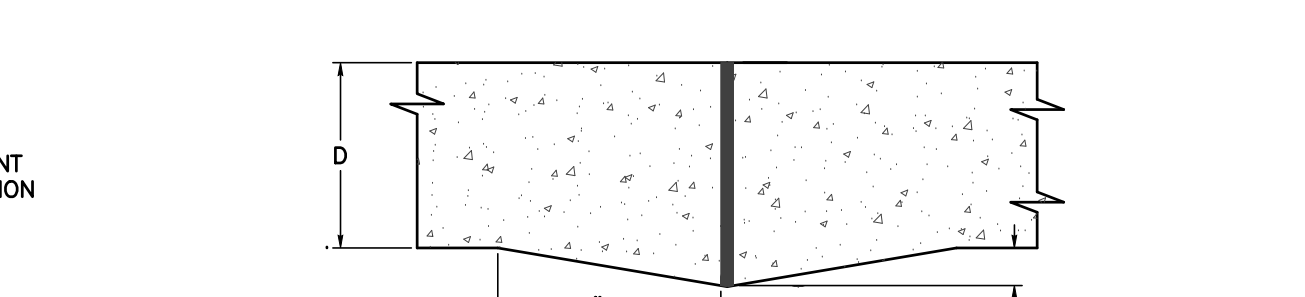
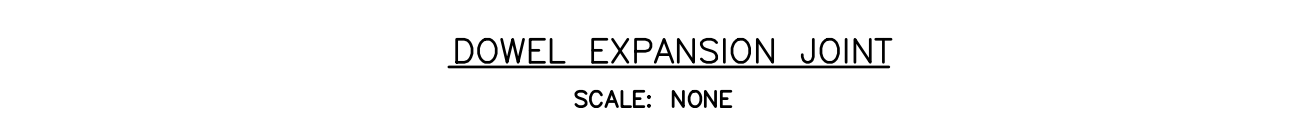
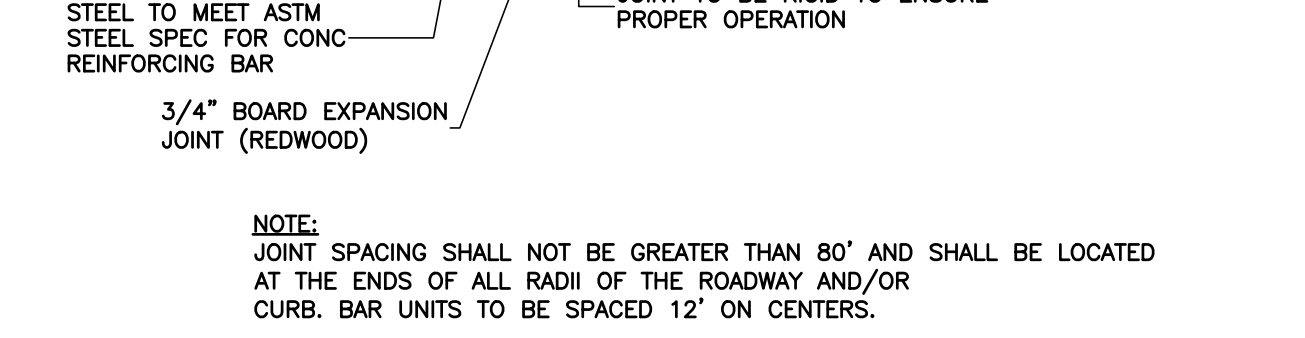
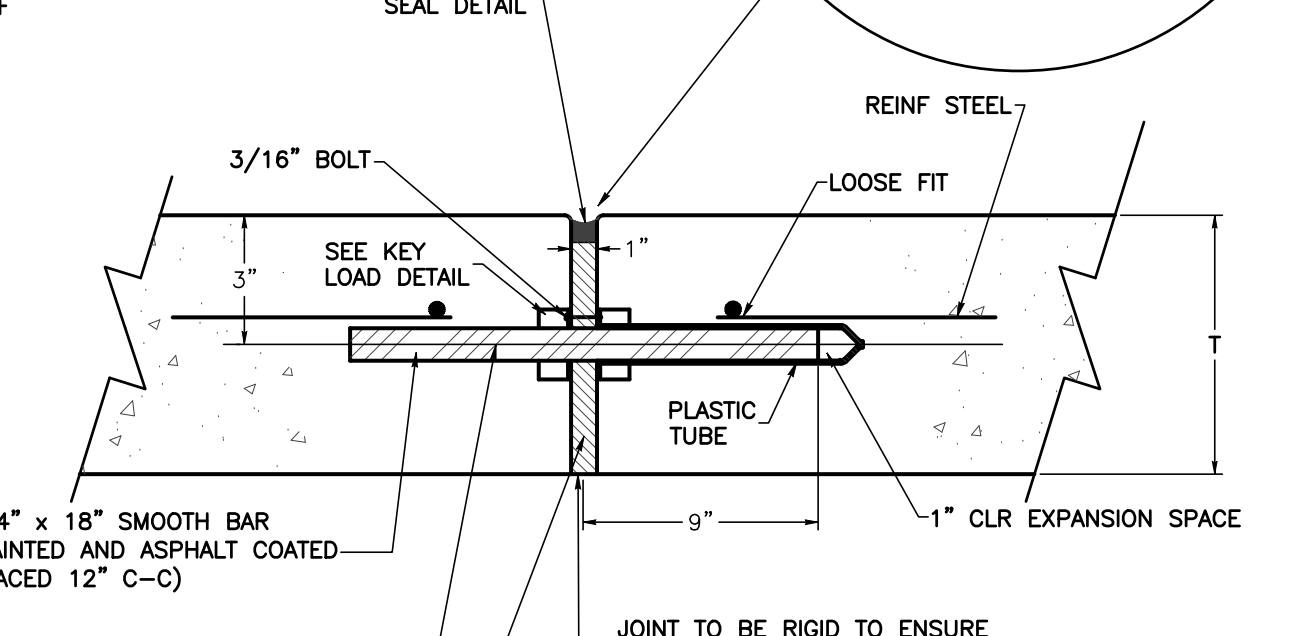
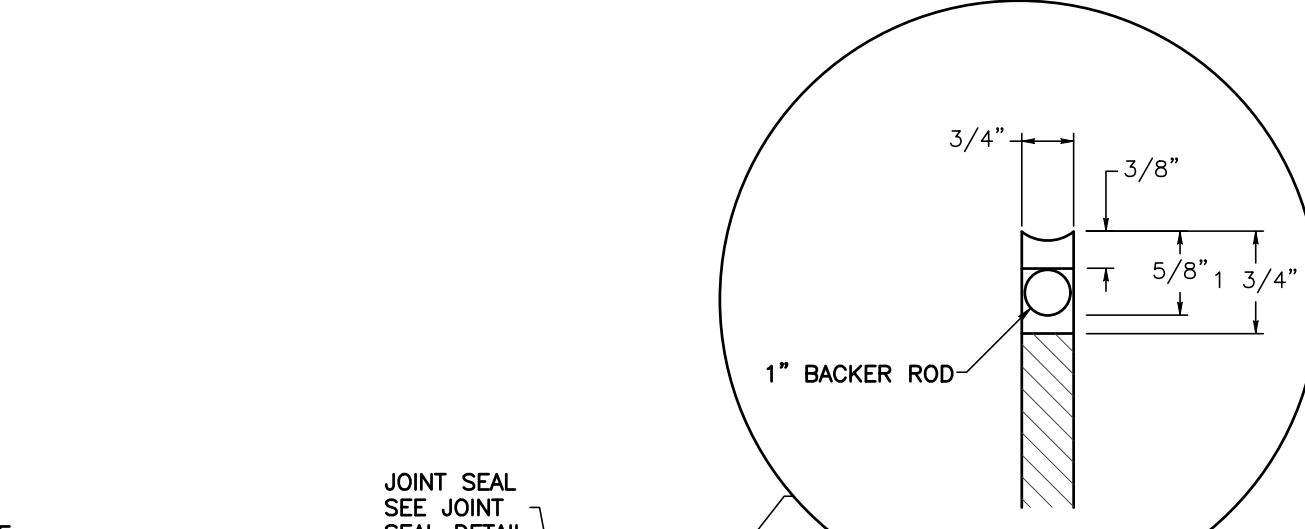
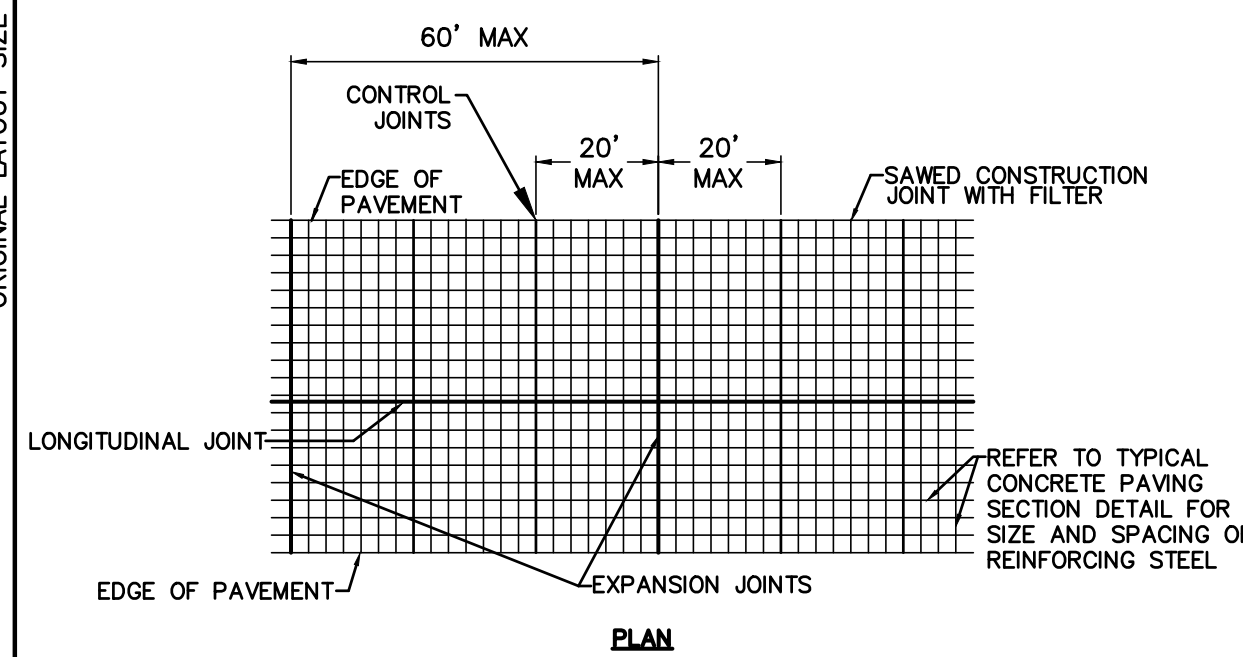
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AUSTIN BRYAN CONROE HOUSTON

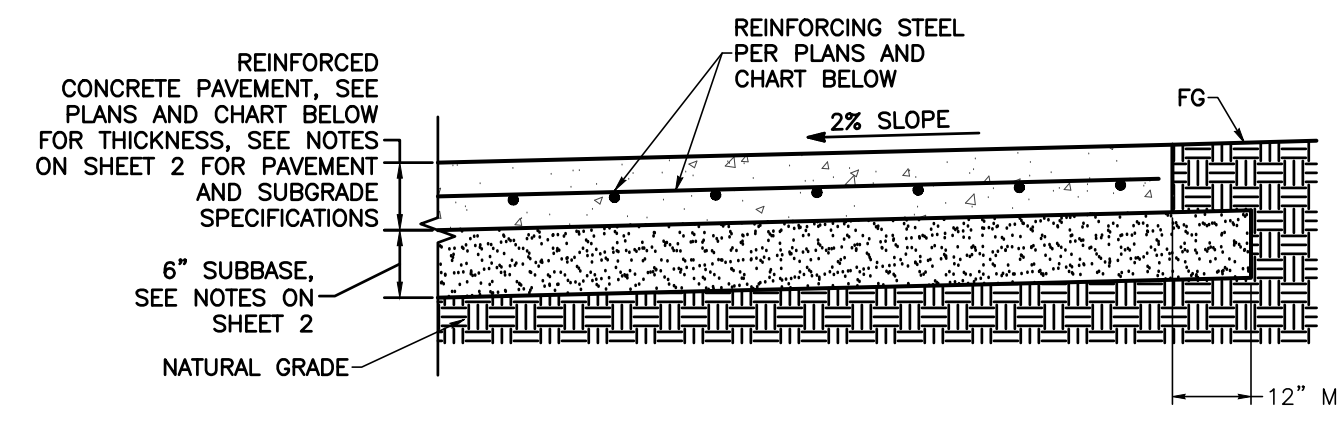
**STREET LIGHT, STRIPING, AND SIGNAGE DETAILS**  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

STATE OF TEXAS  
 KRISTINA M. SUBBER  
 128636  
 LICENSED PROFESSIONAL ENGINEER  
 11/08/2024

DESIGN: KMS  
 CAD: KMS RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 21 OF: 27



**JOINT DETAILS**  
NTS

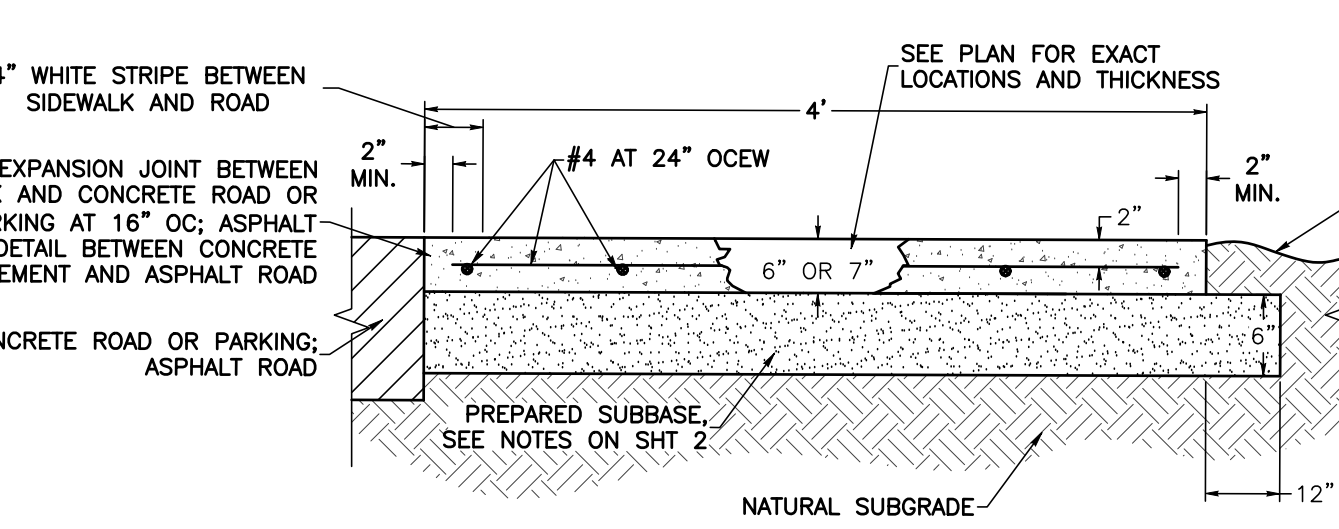
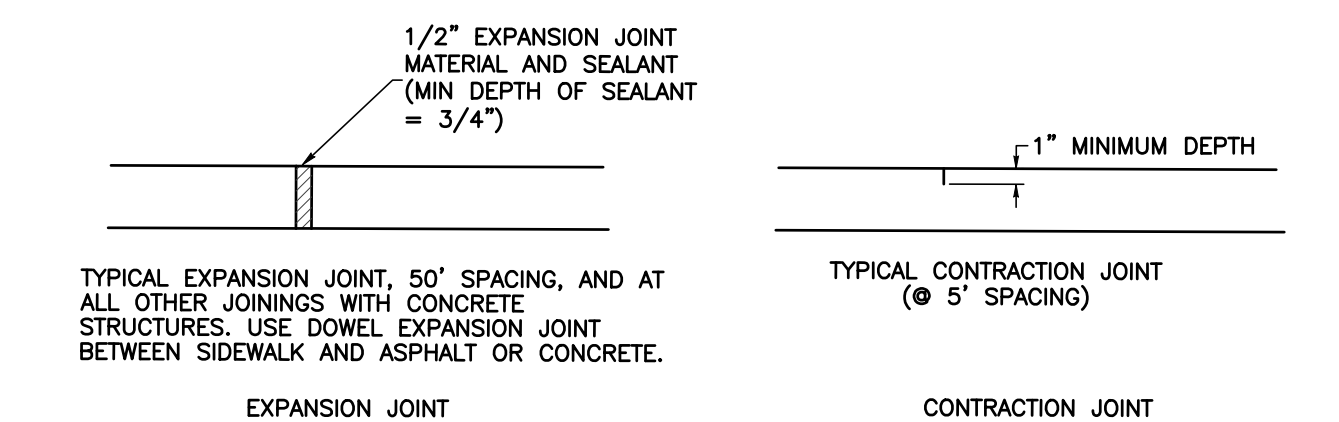


**REINFORCING STEEL AND CONCRETE THICKNESS CHART:**

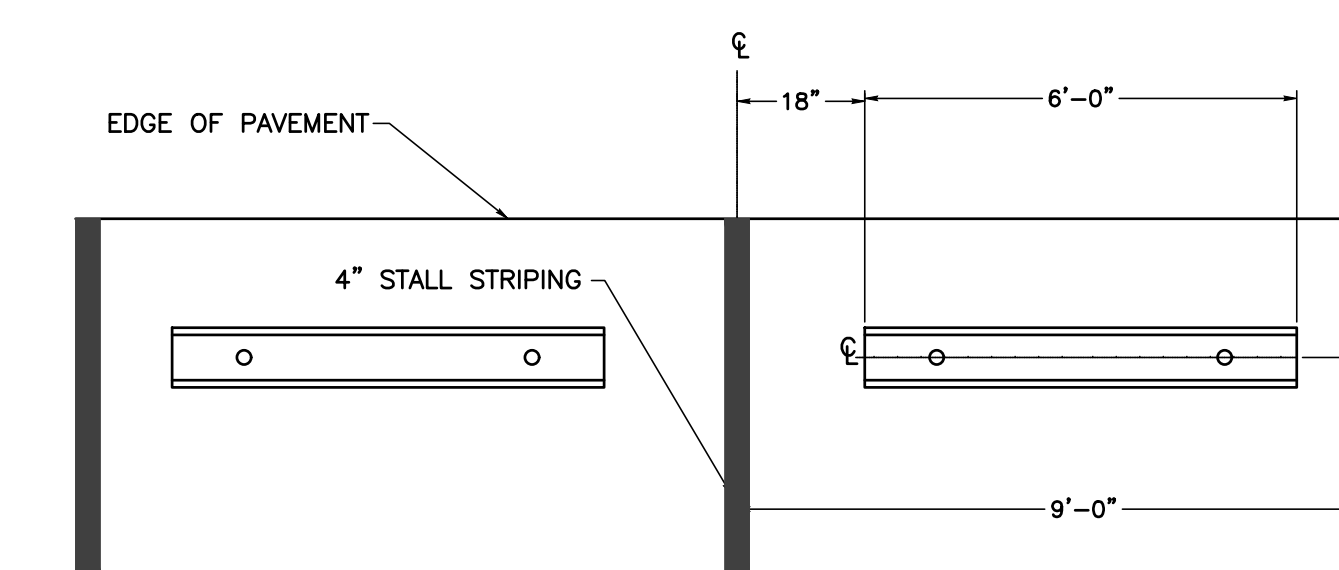
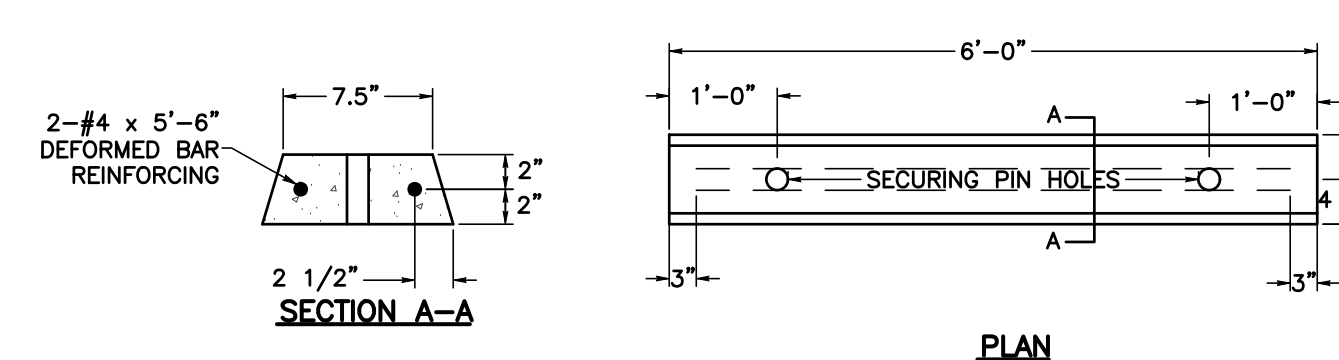
DRIVEWAYS/PARKING ROADS	6" CONC PAVEMENT:	#4 BARS @ 24" O.C.E.W.
DUMPSTER PAD	7" CONC PAVEMENT:	#4 BARS @ 18" O.C.E.W.
	8" CONC PAVEMENT:	#4 BARS @ 18" O.C.E.W.

**TYPICAL CROSS SECTION CONCRETE PAVING**  
SCALE: NONE

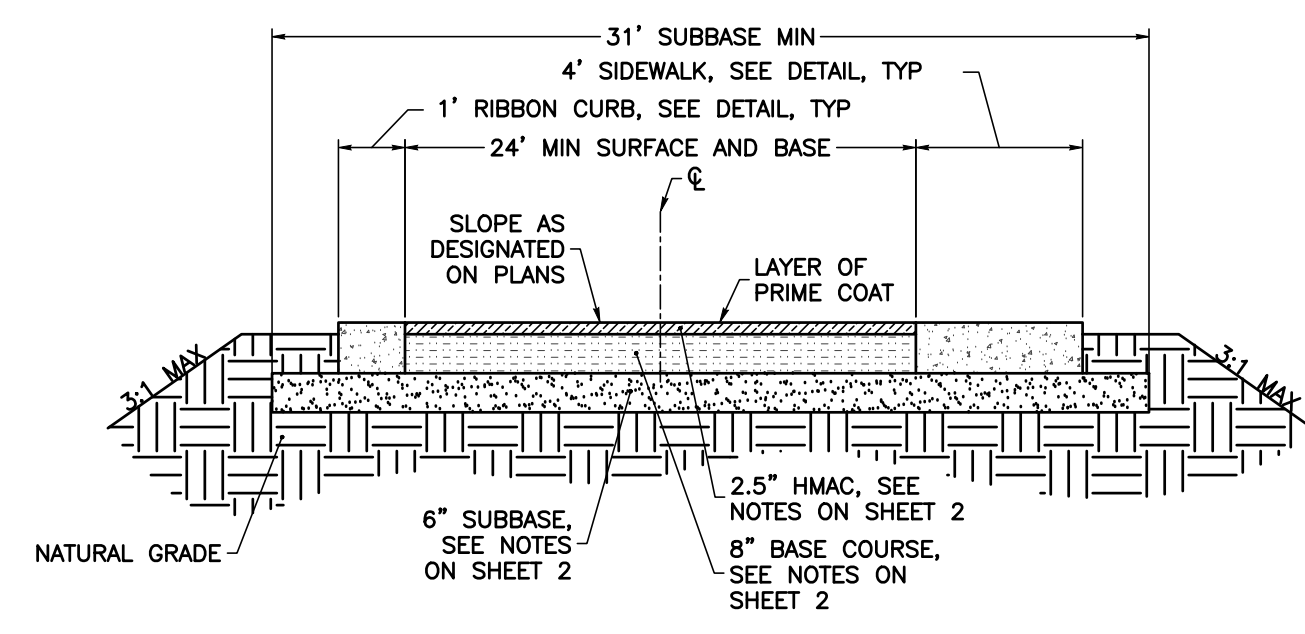
**CONCRETE PAVING**  
NTS



**SIDEWALK DETAIL**  
NTS

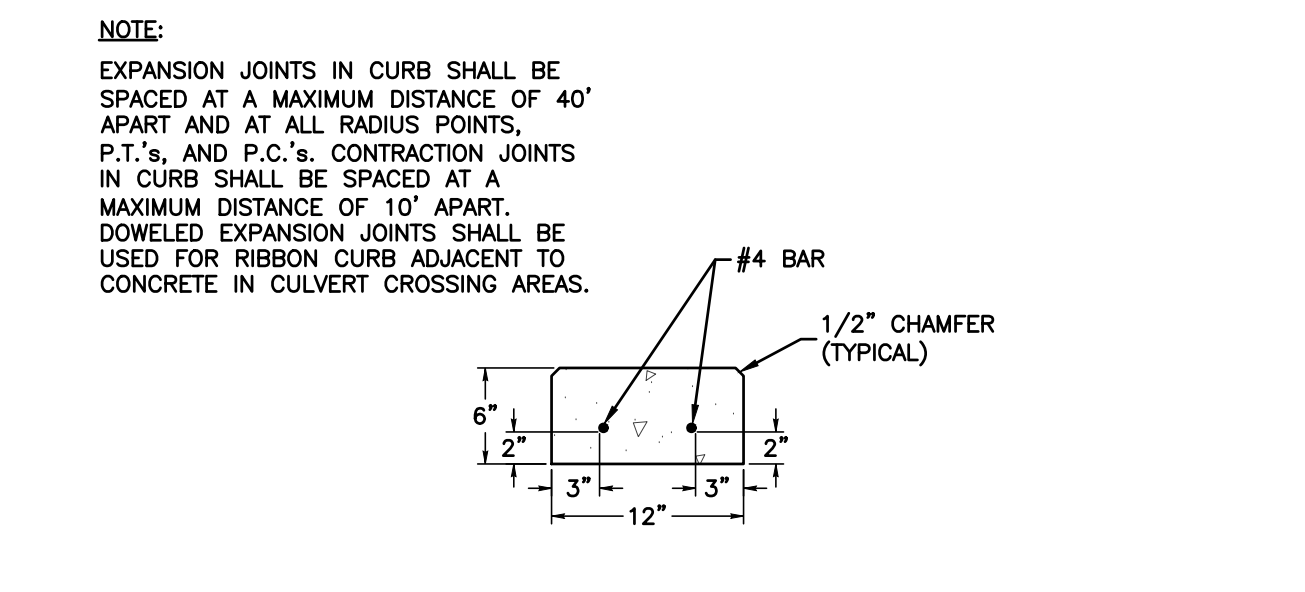


**LOW PROFILE CONCRETE WHEEL STOPS**  
NTS



**TYPICAL CROSS SECTION ASPHALT PAVING**  
SCALE: NONE

**ASPHALT PAVING**  
NTS



**RIBBON CURB DETAIL**  
NTS

**STREET DETAILS**

REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
**PURE STRIKE DEVELOPMENT**  
 LP & B&T REALTY  
 P.O. BOX 10421  
 COLLEGE STATION, TX 77842

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 Texas Firm Registration No. F-678  
 Tel. 979-268-1125 Fax 979-260-3849  
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**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

STATE OF TEXAS  
 KRISTINA M. SURBER  
 128636  
 LICENSED PROFESSIONAL ENGINEER  
 11/08/2024

DESIGN: KMS  
 CAD: KMS RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 22 OF: 27

**FOUNDATION**  
A FOUNDATION IS REQUIRED WHEN THE TRENCH BOTTOM IS UNSTABLE. ANY FOUNDATION THAT WILL SUPPORT A RIGID PIPE WITHOUT CAUSING LOSS OF GRADE OR FLEXURAL BREAKING WILL BE MORE THAN ADEQUATE FOR PVC PIPES.

**BEDDING**  
THE BEDDING DIRECTLY UNDERNEATH THE PIPE IS REQUIRED ONLY TO BRING THE TRENCH BOTTOM UP TO GRADE. IT SHOULD NOT BE SO THICK OR SOFT THAT THE PIPE WILL SETTLE AND LOSE GRADE. THE PURPOSE OF THE BEDDING IS TO PROVIDE A FIRM, STABLE AND UNIFORM SUPPORT OF THE PIPE. A LAYER OF MATERIAL SUFFICIENT TO ESTABLISH LINE, GRADE, AND SUPPORT SHOULD BE PLACED. BELL HOLES SHOULD BE EXCAVATED TO ENSURE UNIFORM BEARING.

**HAUNCHING**  
THE HAUNCHING AREA IS THE MOST IMPORTANT IN TERMS OF LIMITING THE DEFLECTION OF A FLEXIBLE PIPE. THIS IS THE AREA THAT SHOULD BE COMPACTED TO THE REQUIRED OR SPECIFIC DENSITY.

**ASTM D-2321 DESCRIPTION OF EMBEDMENT MATERIALS**

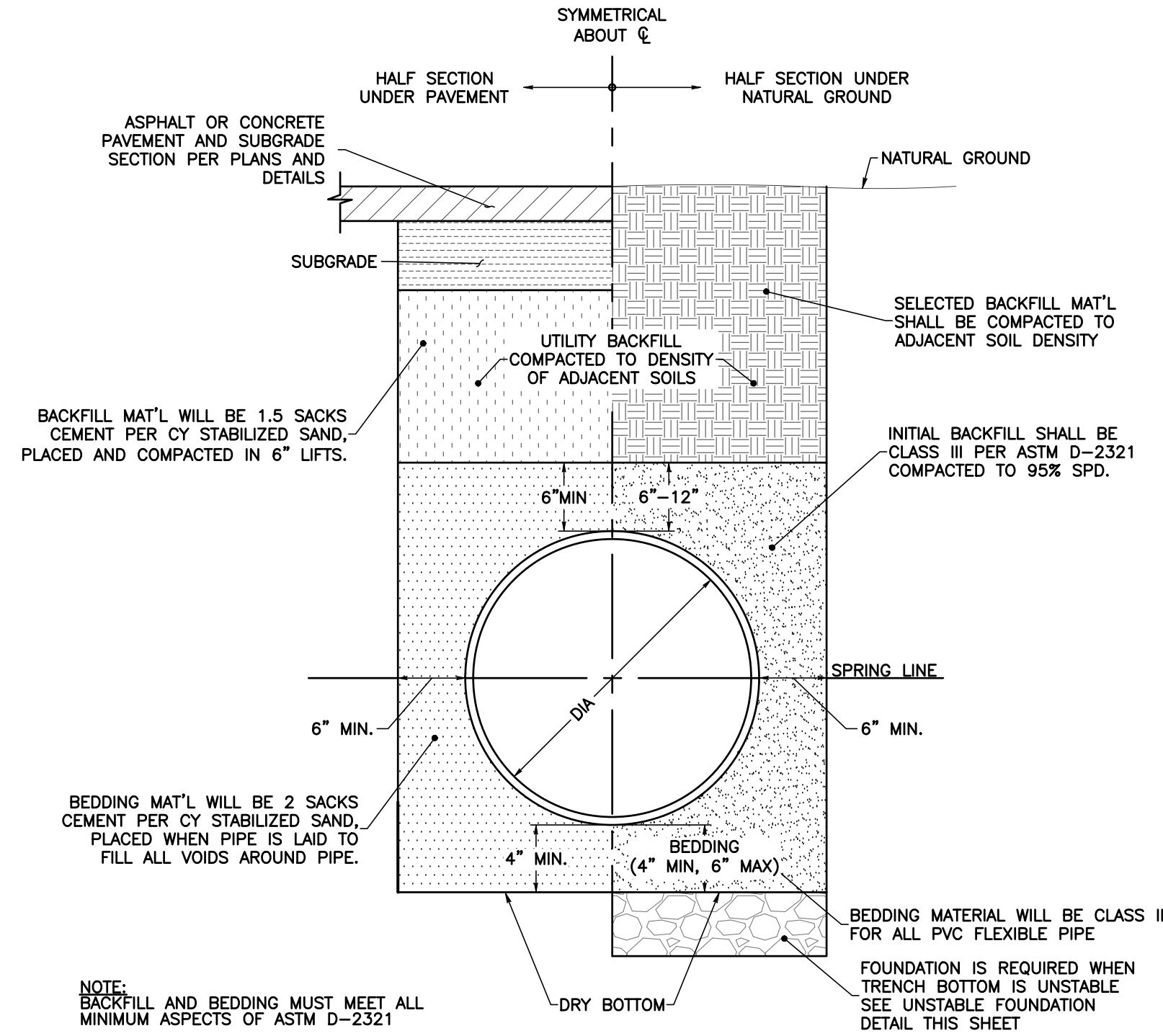
**CLASS I**  
ANGULAR, 1/4" TO 1-1/2" GRADED STONE, INCLUDING A NUMBER OF FILL MATERIALS THAT HAVE REGIONAL SIGNIFICANCE, SUCH AS CORAL, SLAG, CINDERS, CRUSHED STONE AND CRUSHED SHELLS.

**CLASS II**  
COARSE SANDS AND GRAVELS WITH MAXIMUM PARTICLE SIZE OF 1-1/2", INCLUDING VARIOUSLY GRADED SANDS, AND GRAVELS CONTAINING SMALL PERCENTAGES OF FINES, GENERALLY GRANULAR AND NONCOHESIVE, EITHER WET OR DRY. SOIL TYPES GW, GP, SW, AND SP ARE INCLUDED IN THIS CLASS.

**CLASS III**  
FINE SAND AND CLAYEY GRAVELS, INCLUDING FINE SANDS AND SAND-CLAY MIXTURES, AND GRAVEL CLAY MIXTURES. SOIL TYPES GM, GC, SM, AND SC ARE INCLUDED IN THIS CLASS.

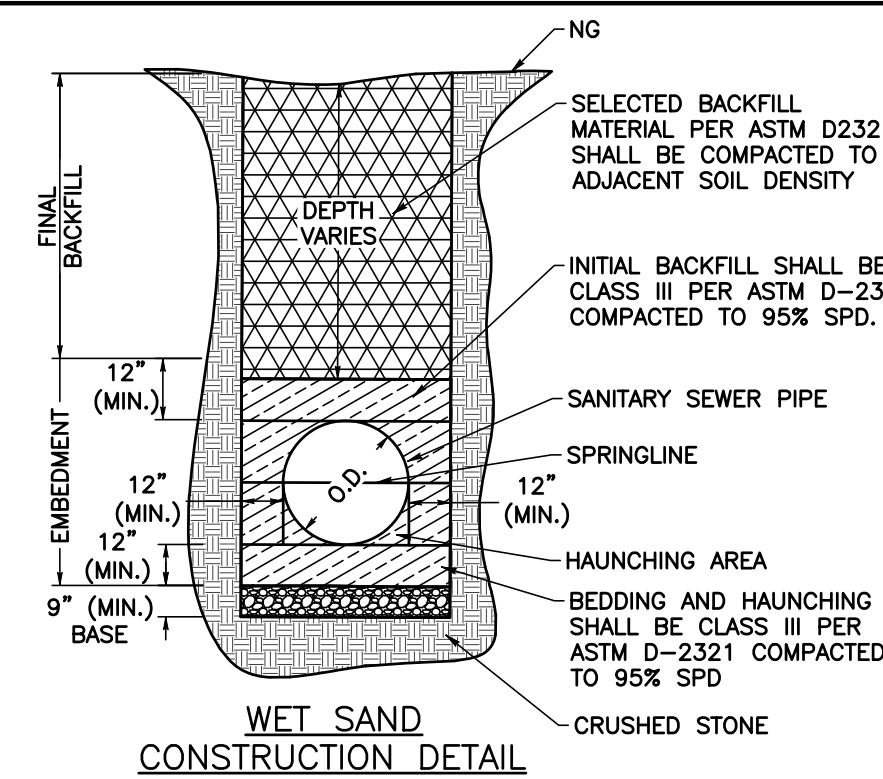
**CLASS IV**  
SILT, SILTY CLAYS, AND CLAYS, INCLUDING INORGANIC CLAYS AND SILTS OF MEDIUM TO HIGH PLASTICITY AND LIQUID LIMITS. SOIL TYPES MH, ML, CH, AND CL, ARE INCLUDED IN THIS CLASS.

**CLASS V**  
THIS CLASS INCLUDES THE ORGANIC SOILS OL, OH, AND PT AS WELL AS SOILS CONTAINING FROZEN EARTH, DEBRIS, ROCKS LARGER THAN 1-1/2" IN DIAMETER, AND OTHER FOREIGN MATERIALS. THESE MATERIALS ARE NOT RECOMMENDED FOR BEDDING, HAUNCHING, OR INITIAL BACKFILL.

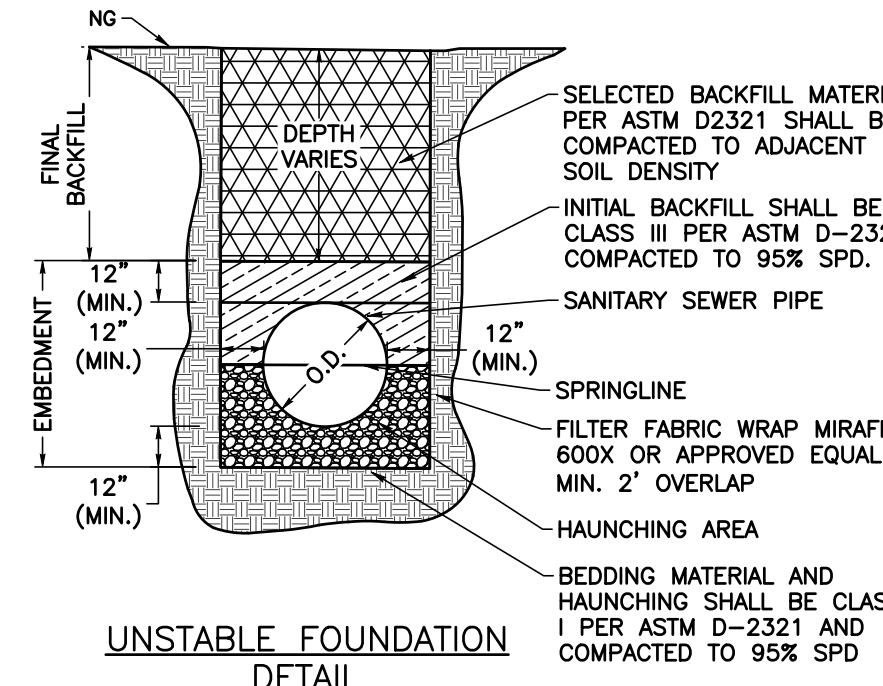


**SANITARY BEDDING AND TRENCH**

NTS



**WET SAND CONSTRUCTION DETAIL**



**UNSTABLE FOUNDATION DETAIL**

**UNSTABLE FOUNDATION BEDDING & TRENCH**

NTS

**NOTES FOR WED SAND CONSTRUCTION:**  
1. NECESSITY FOR USE OF THIS SECTION WILL BE DETERMINED BY THE ENGINEER / INSPECTOR AS THE CONSTRUCTION PROGRESSES, AND THE DETAILS HEREOF MAY BE MODIFIED TO SUIT CONDITIONS ENCOUNTERED.

**ASTM D-2321 DESCRIPTION OF EMBEDMENT MATERIALS ALLOWED BY CITY OF CONROE**

**CLASS I**  
ANGULAR, 1/4" TO 1-1/2" GRADED STONE, INCLUDING A NUMBER OF FILL MATERIALS THAT HAVE REGIONAL SIGNIFICANCE, SUCH AS CORAL, SLAG, CINDERS, CRUSHED STONE AND CRUSHED SHELLS.

**CLASS III**  
FINE SAND AND CLAYEY GRAVELS, INCLUDING FINE SANDS AND SAND-CLAY MIXTURES, AND GRAVEL CLAY MIXTURES. SOIL TYPES GM, GC, SM AND SC ARE INCLUDED IN THIS CLASS.

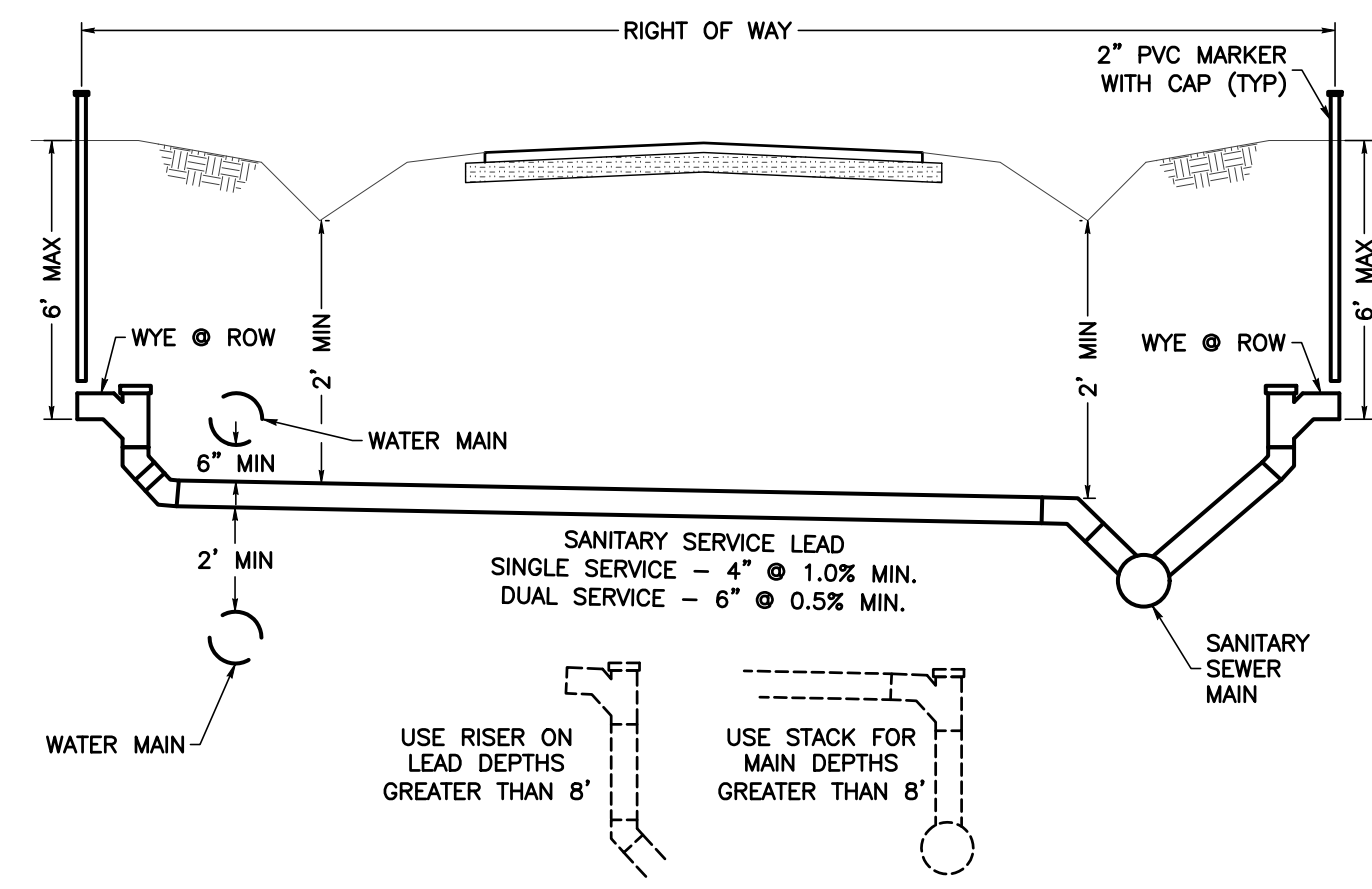
**NOTES FOR UNSTABLE TRENCH BOTTOM FOUNDATION:**

- 1. BACKFILL AND BEDDING MUST MEET ALL MINIMUM ASPECTS OF ASTM D-2321
- 2. TRENCH WALLS SHALL BE VERTICAL TO A MINIMUM OF ONE FOOT ABOVE THE TOP OF THE PIPE.



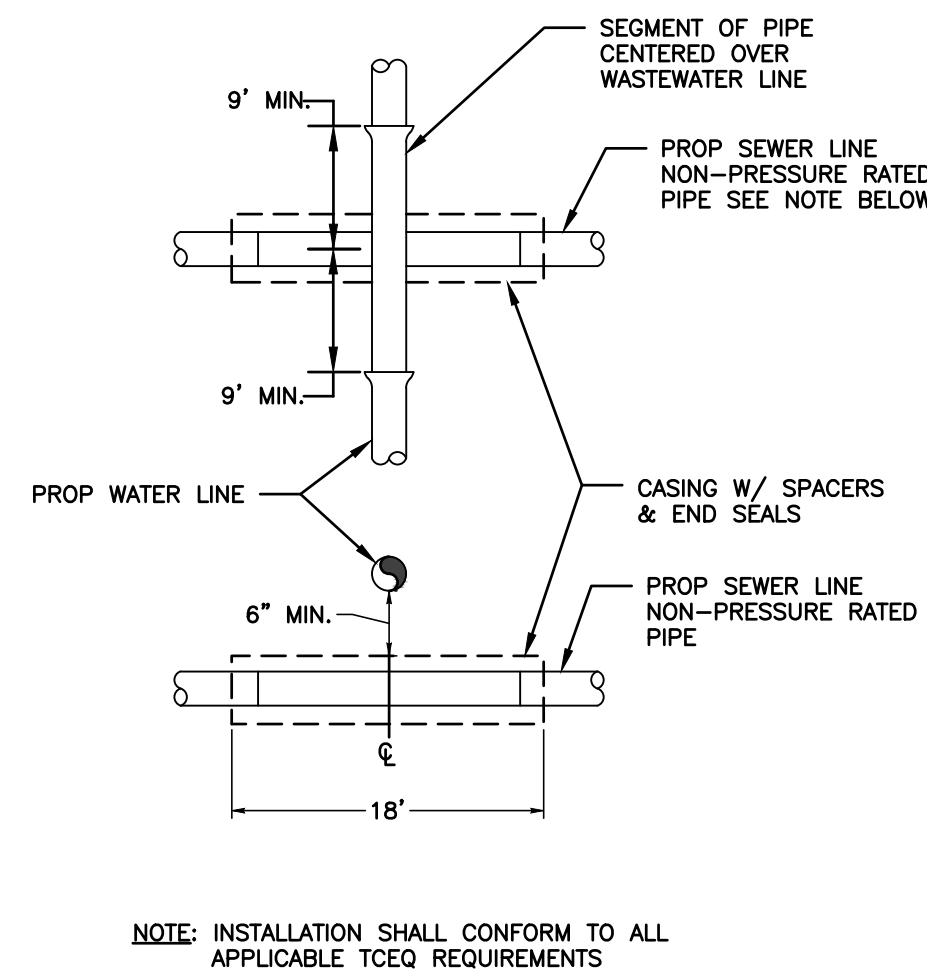
**SANITARY DOUBLE CLEANOUT DETAIL**

NTS



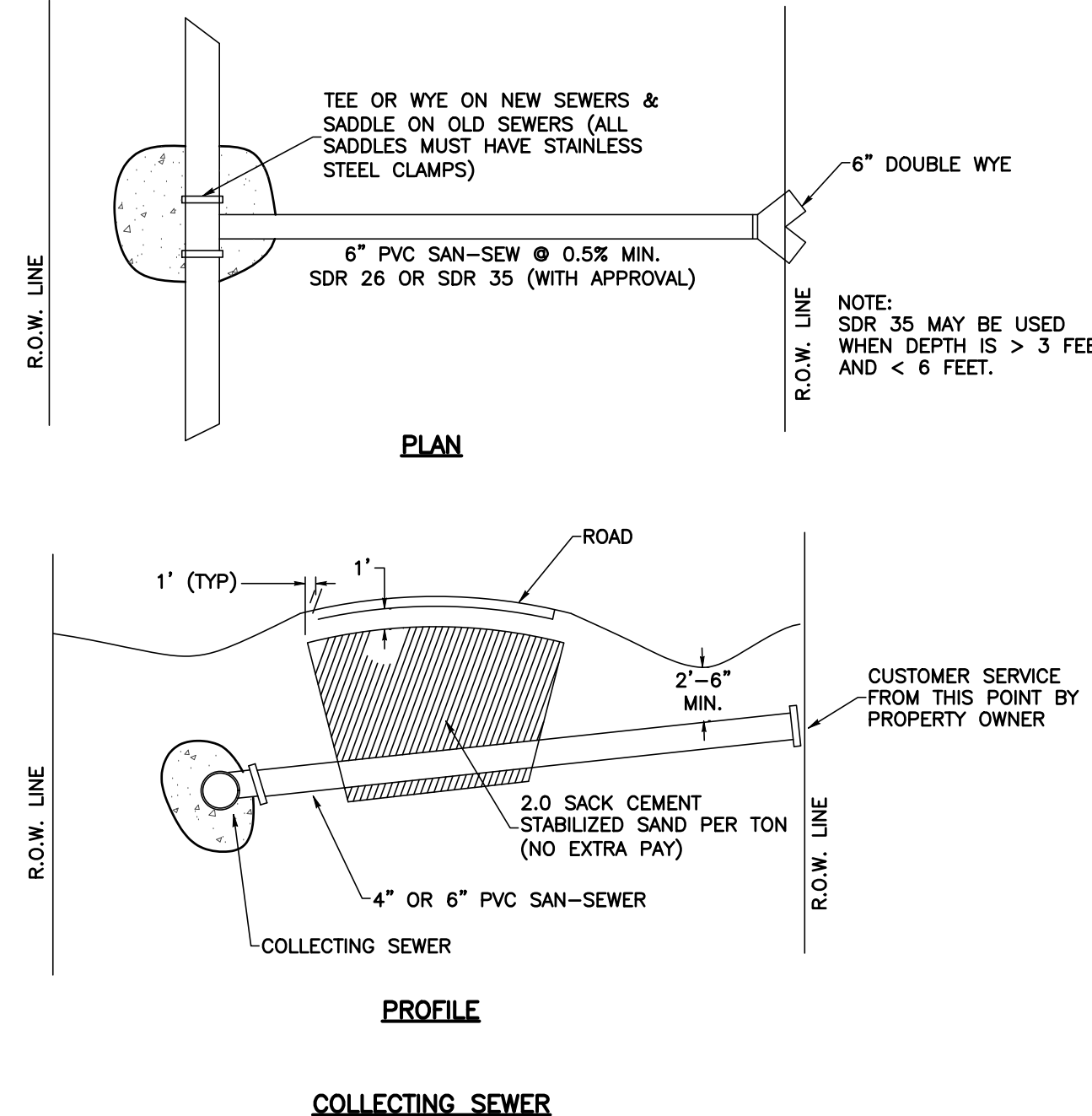
**SANITARY LEAD CROSSING**

NTS



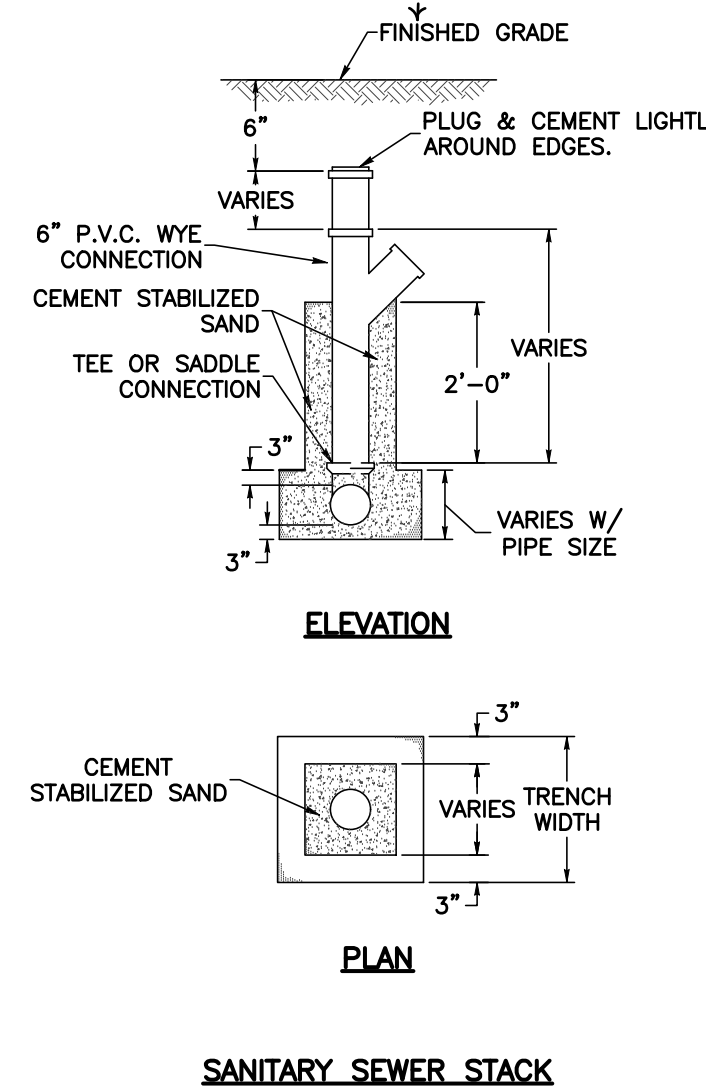
**SANITARY ENCASEMENT AT WATER CROSSING**

NTS

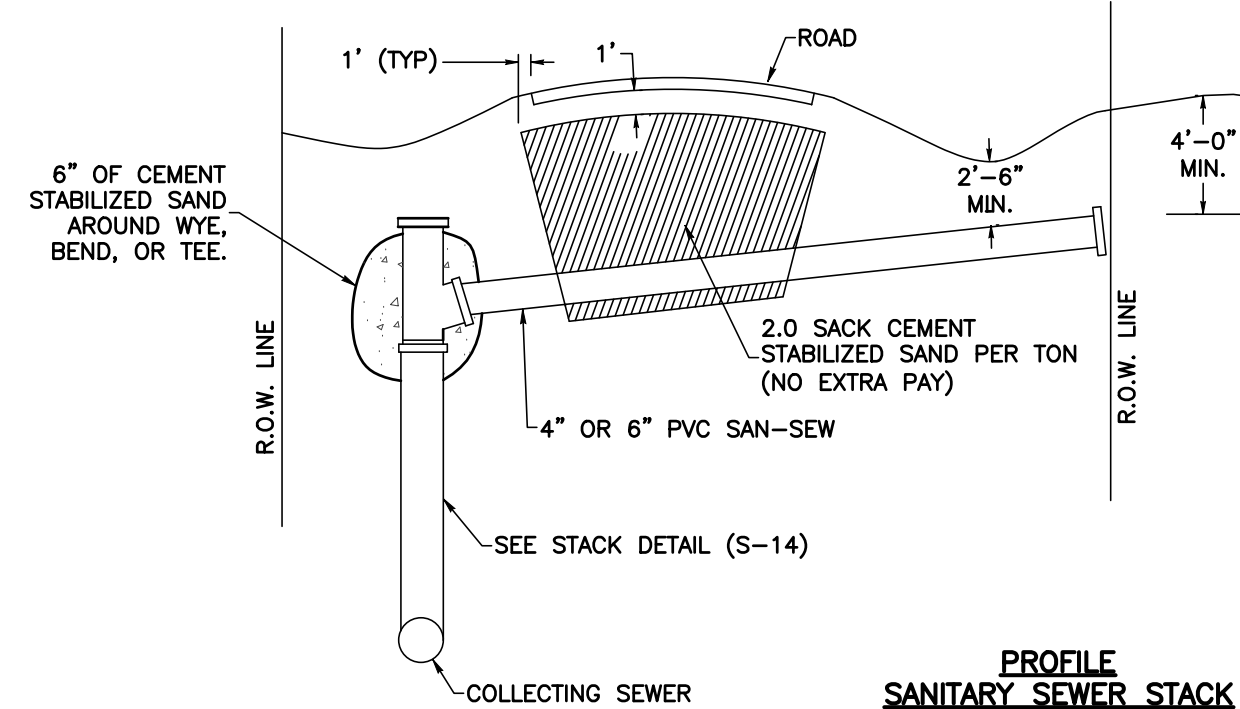


**SANITARY SEWER CONNECTIONS**

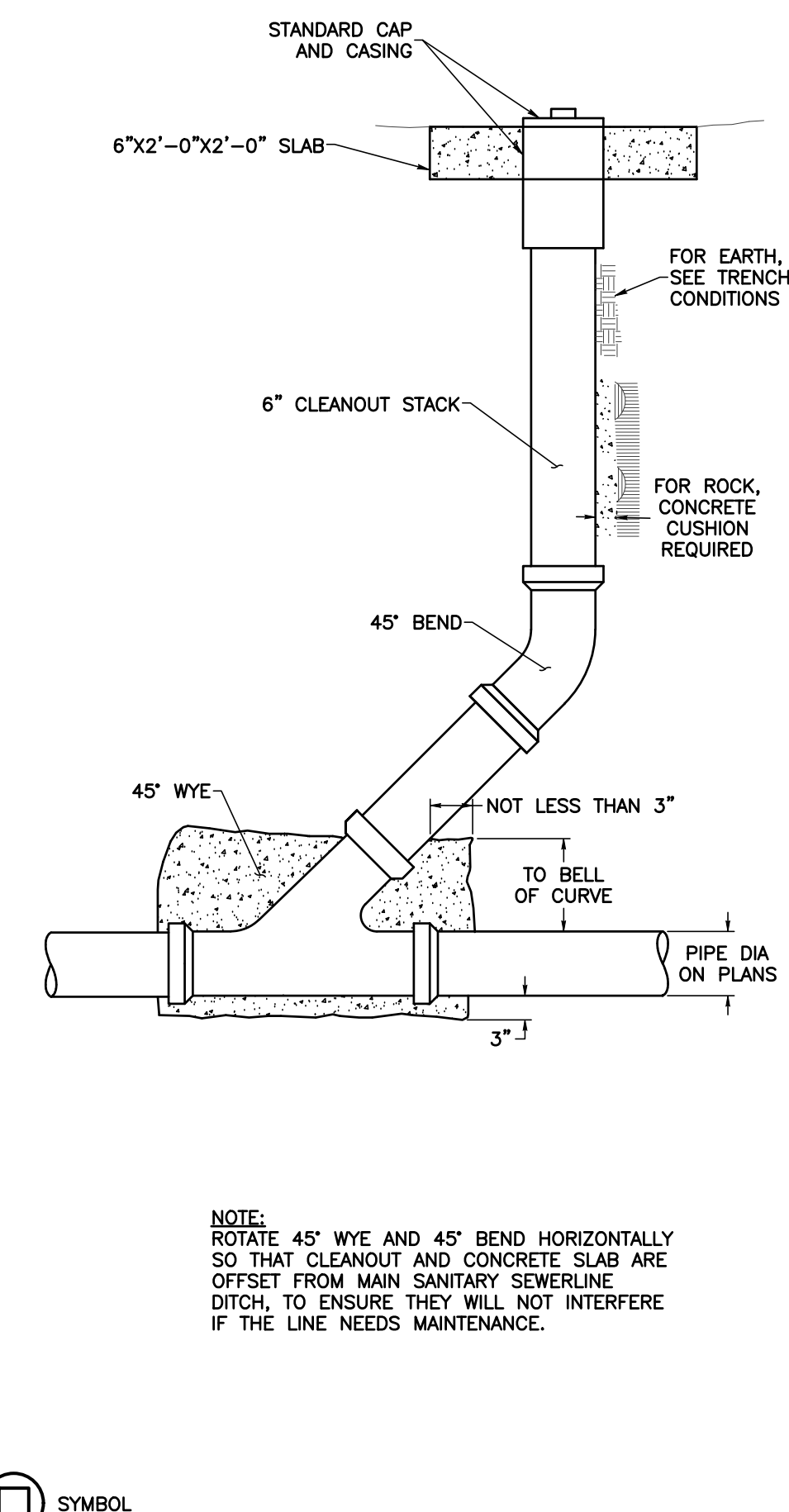
NTS



**SANITARY SEWER STACK**



**PROFILE SANITARY SEWER STACK**



**SANITARY CLEANOUT DETAIL**

NTS



PREPARED FOR:

PURE STRIKE DEVELOPMENT  
LP & B&T REALTY  
P.O. BOX 10421  
COLLEGE STATION, TX 77842

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**SANITARY DETAILS**

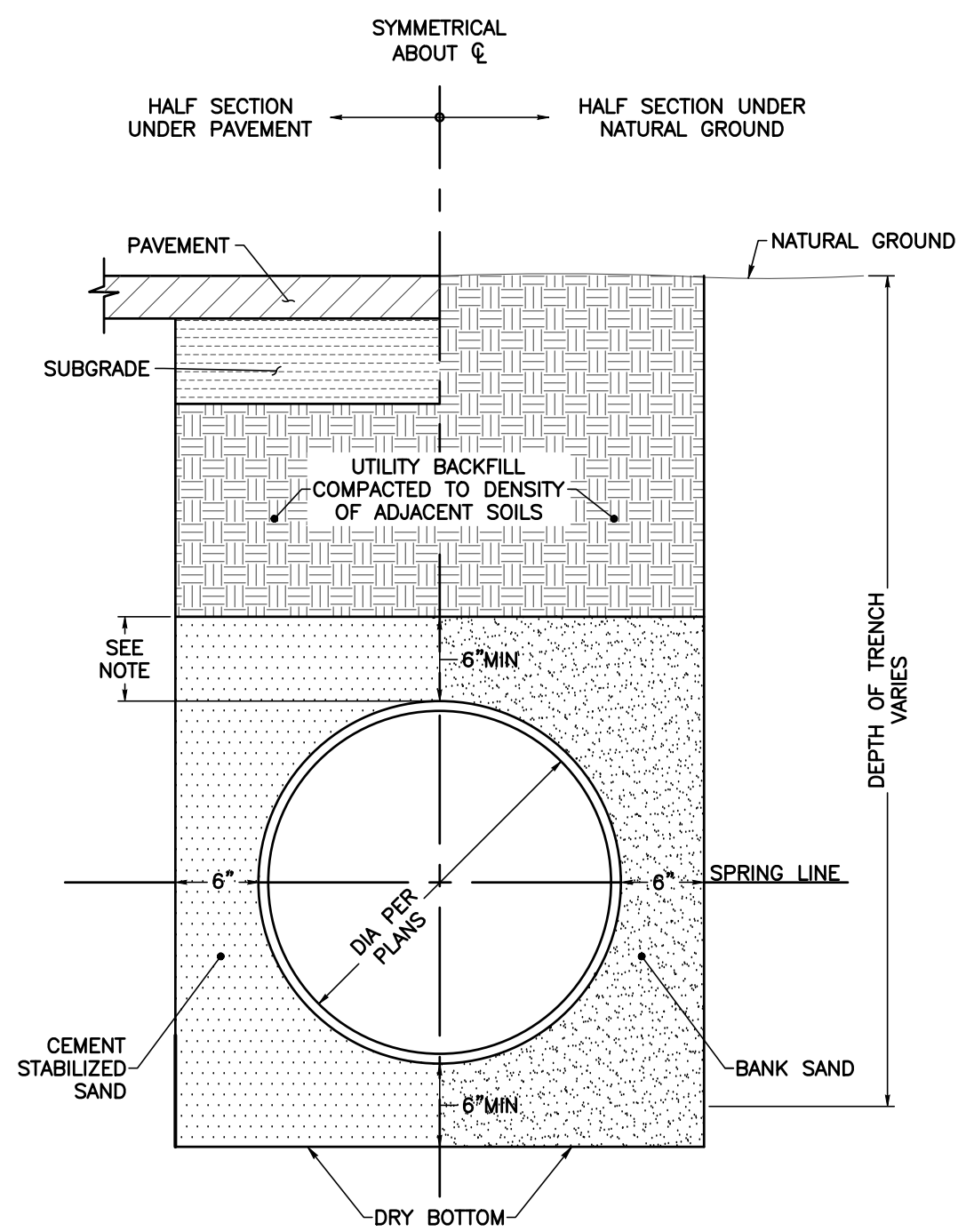
**PARADISE WAY MOBILE HOME PARK**

LOT 6 AND 7, 7-11 RANCH, PHASE 1  
1100 PARADISE WAY  
BRAZOS COUNTY



DESIGN: KMS  
CAD: KMS RVW: TOW  
PROJECT NO: 13118  
SHEET: 23 OF: 27

ORIGINAL LAYOUT SIZE - 22X34



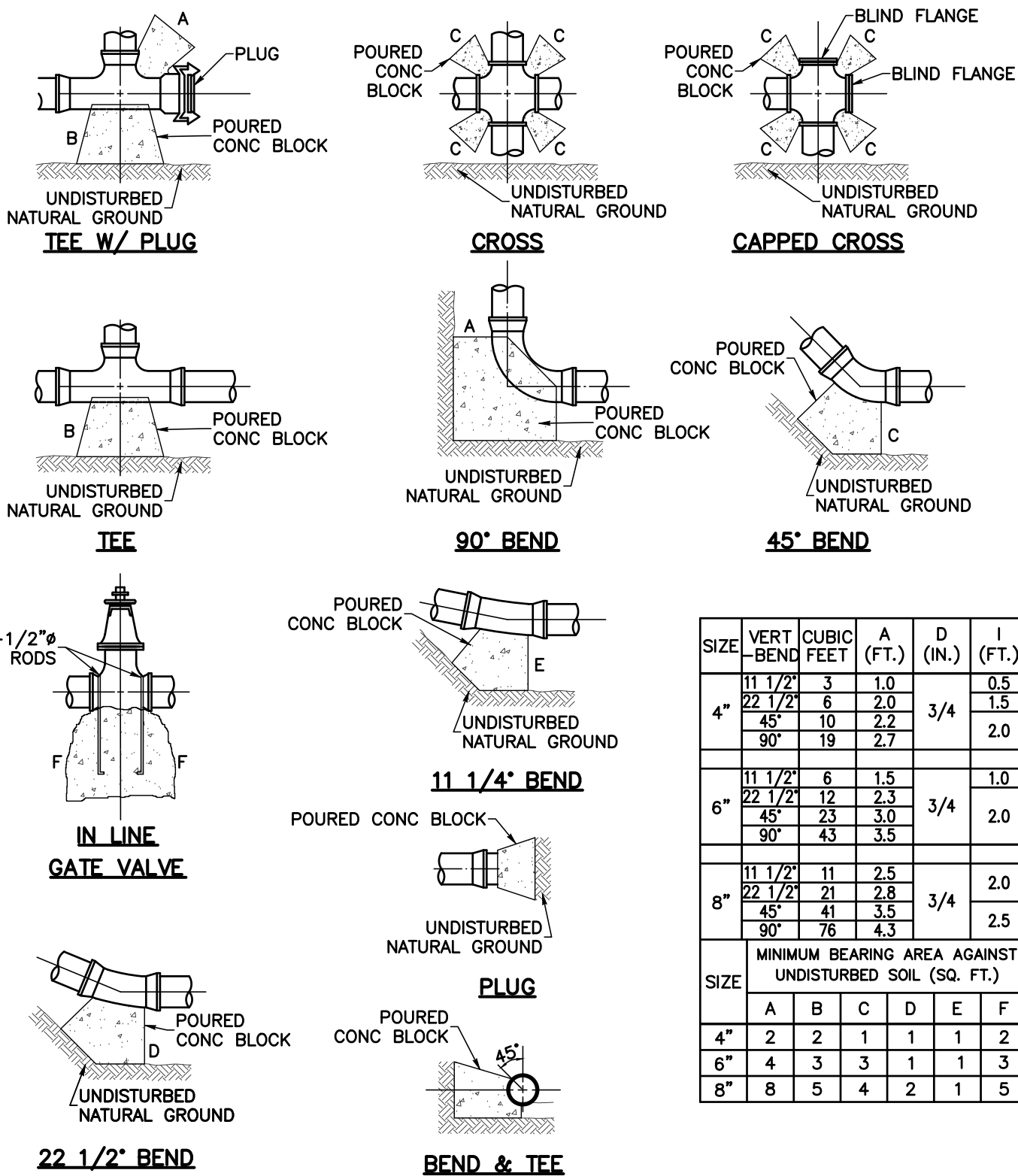
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**HAUNCHING**  
THE HAUNCHING AREA IS THE MOST IMPORTANT IN TERMS OF LIMITING THE DEFLECTION OF A FLEXIBLE PIPE. THIS IS THE AREA THAT SHOULD BE COMPACTED TO THE REQUIRED OR SPECIFIC DENSITY.

**WATER LINE BEDDING AND BACKFILL**

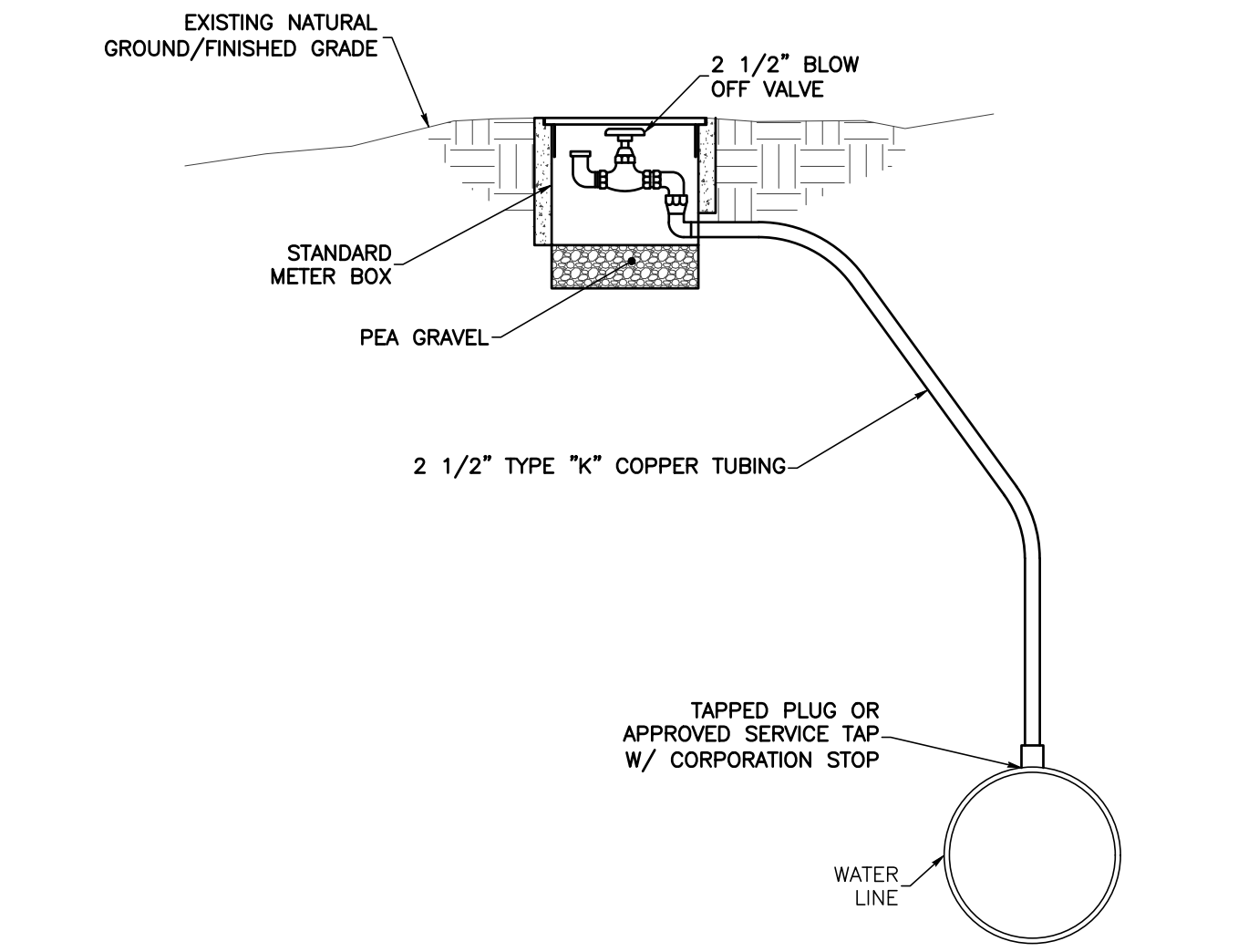
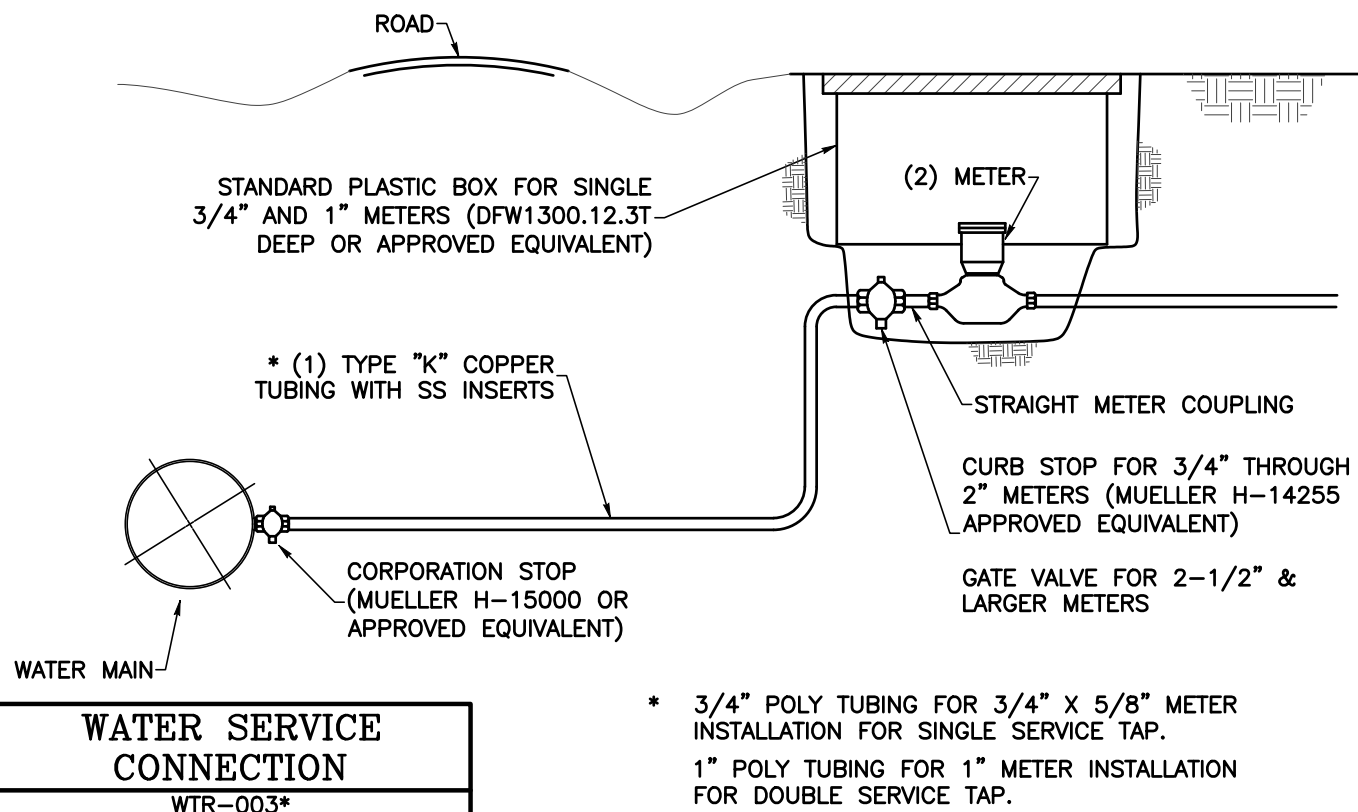
NTS



**THRUST BLOCKING**

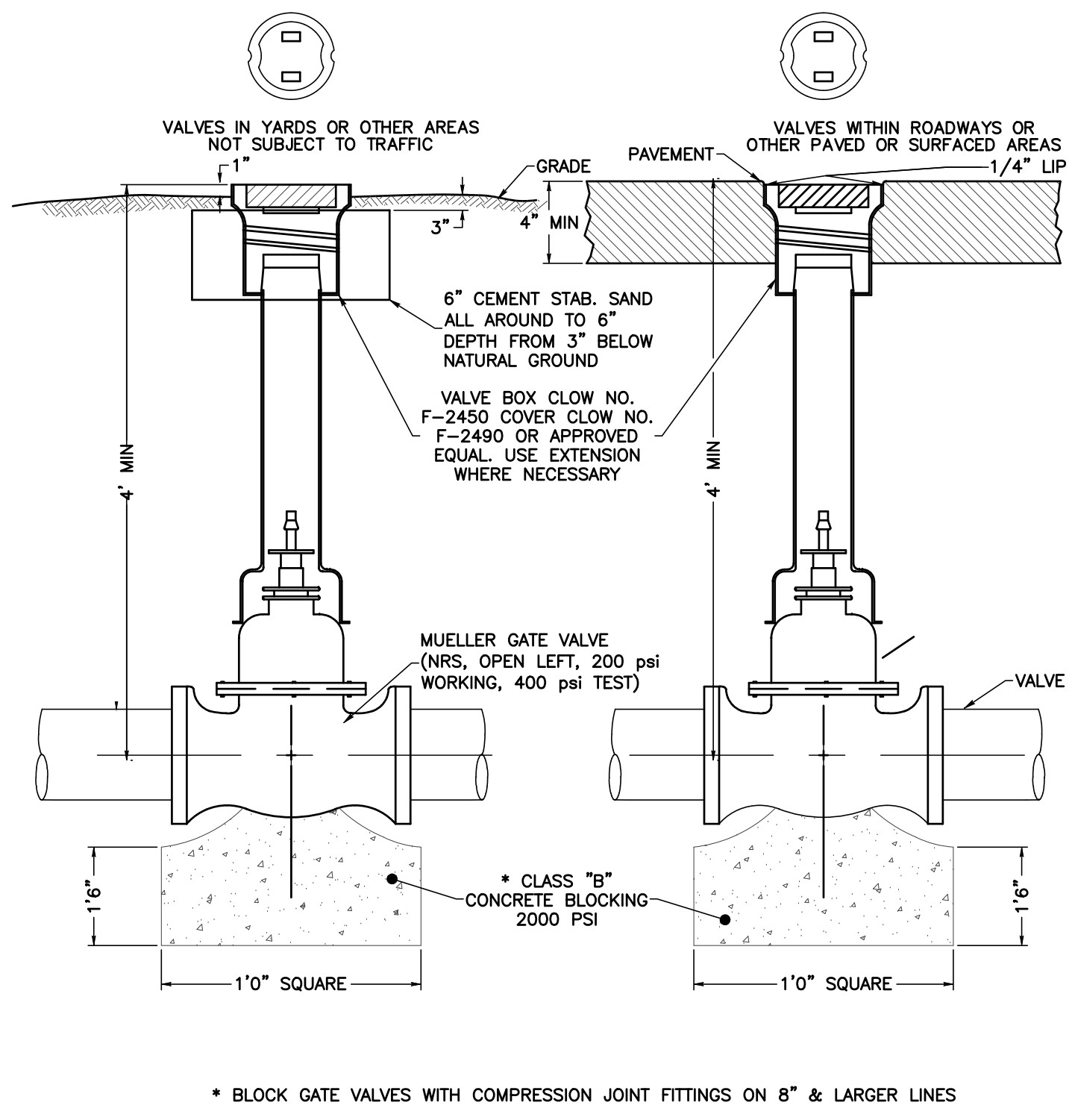
NTS

1. SDR-9 SERVICE LEAD BY CONTRACTOR, WITH STANDARD PLASTIC METER BOX.



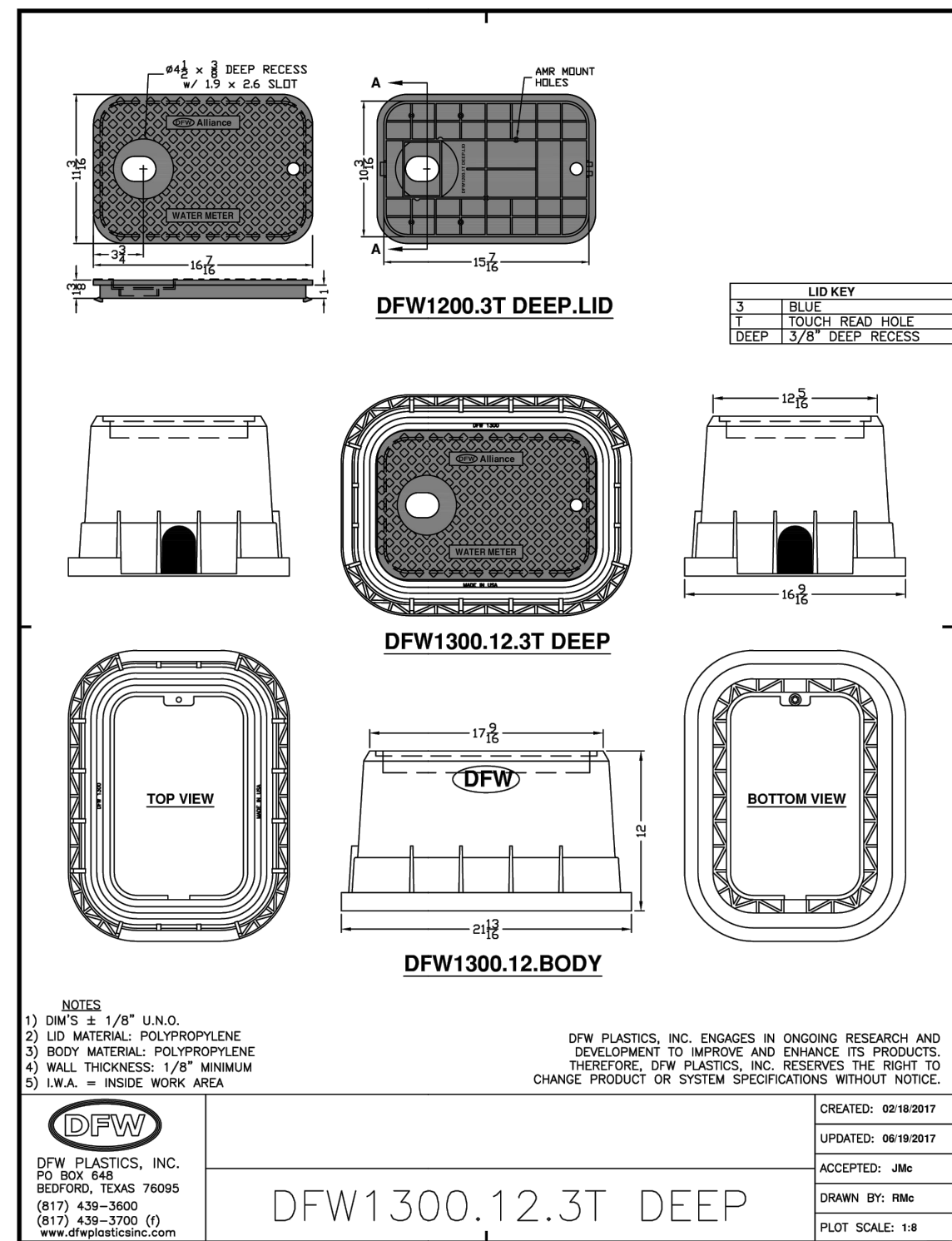
**BLOW-OFF VALVE**

NTS



**GATE VALVE AND BOX**

NTS



**METER BOX PER WELLBORN S.U.D.**

NTS

STRUCTURAL BACKFILL AREA INCLUDES ALL PAVED AREAS (SIDEWALKS, STREETS, ALLEYS, DRIVEWAYS AND PARKING AREAS) AND SHALL EXTEND 5' BEYOND THE CURB LINE. STRUCTURAL BACKFILL SHALL BE CEMENT STABILIZED (SEE DETAIL W4-02 - AREAS TO BE PAVED) OR EXCAVATED SOIL COMPACTED TO 98% MAXIMUM DRY DENSITY AS PER ASTM D698 WITHIN OPTIMUM TO ±4% WET OF OPTIMUM (SEE DETAIL W4-02 - NON-STRUCTURAL AREAS)

STRUCTURAL BACKFILL

PAVEMENT AREAS

SIDEWALK

LIMITS OF STRUCTURAL BACKFILL

PROP. UTILITY LINE

5'

5'

5'

**STRUCTURAL BACKFILL AREA FOR WATER MAIN**

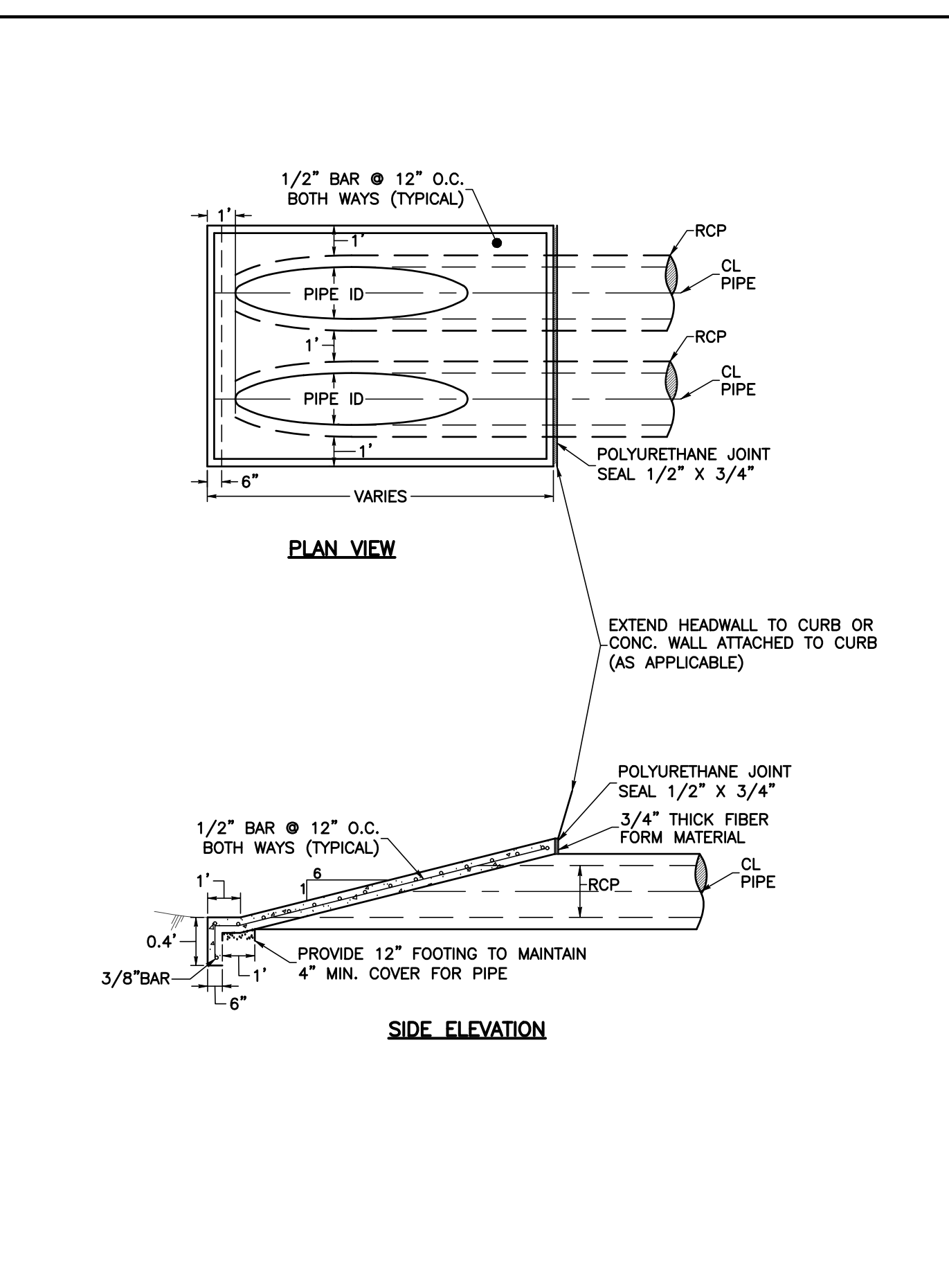
DATE: AUG. 2012

B/C'S UNIFIED STANDARD DETAIL

DETAIL NO. W2-02

CITY OF BRYAN

CITY OF COLLEGE STATION



**SLOPED HEADWALL**

SCALE: NTS 12/17/18

REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
PURE STRIKE DEVELOPMENT  
LP & B&T REALTY  
P.O. BOX 10421  
COLLEGE STATION, TX 77842

**BLEYL ENGINEERING**  
PLANNING • DESIGN • MANAGEMENT  
1722 Broadmoor, Suite 210, Bryan Tx 77802  
Texas Firm Registration No. F-678  
Tel. 979-268-1125 Fax 979-260-3849  
www.bleylengineering.com

AUSTIN BRYAN CONROE HOUSTON

**WATER DETAILS**  
**PARADISE WAY MOBILE HOME PARK**  
LOT 6 AND 7, 7-11 RANCH, PHASE 1  
1100 PARADISE WAY  
BRAZOS COUNTY

STATE OF TEXAS  
KRYSTINA M. SURBER  
128636  
LICENSED PROFESSIONAL ENGINEER  
11/08/2024

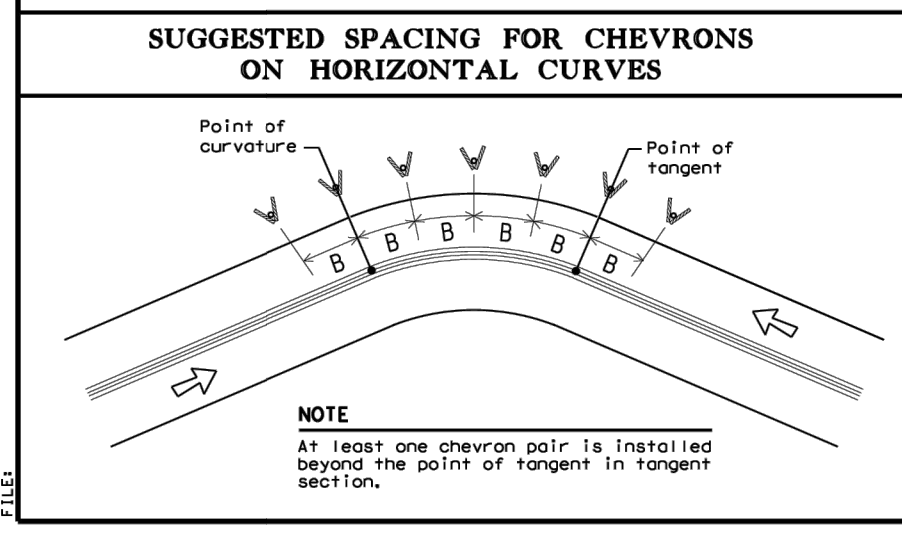
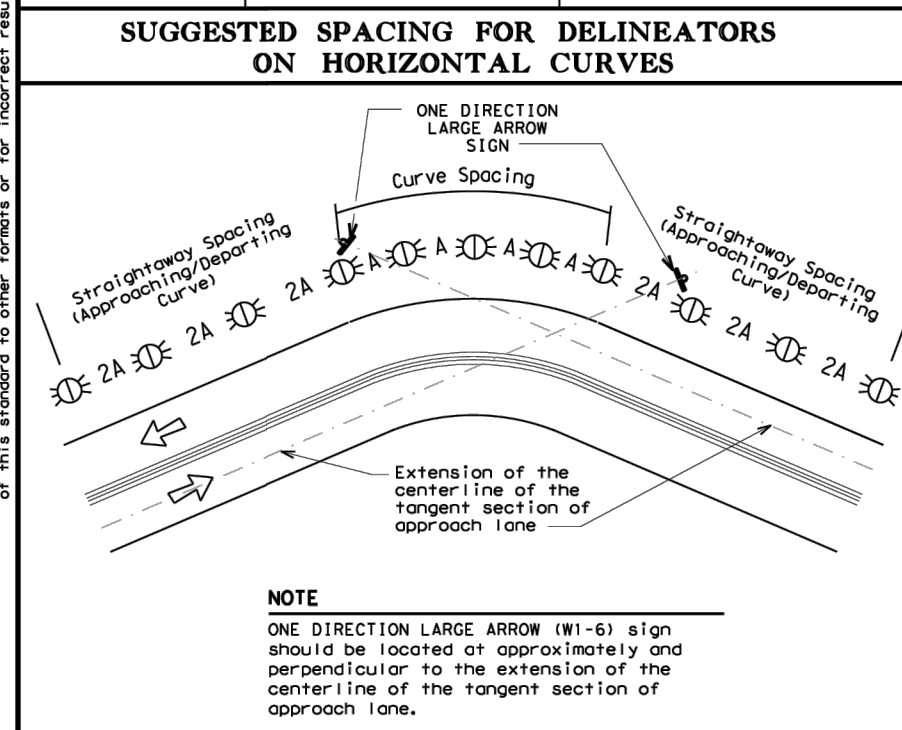
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CAD: KMS RVW: TOW  
PROJECT NO: 13118  
SHEET: 24 OF: 27

11/7/2024 5:06:31 PM  
Z:\13100\13118 PARADISE WAY MHP\04\_CAD\_CD-13118\23-25 DETAILS.DWG



### MINIMUM WARNING DEVICES AT CURVES WITH ADVISORY SPEEDS

Amount by which Advisory Speed is less than Posted Speed	Curve Advisory Speed	
	Turn (30 MPH or less)	Curve (35 MPH or more)
5 MPH & 10 MPH	• RPMs	• RPMs
15 MPH & 20 MPH	• RPMs and One Direction Large Arrow sign	• RPMs and Chevrons; or • RPMs and One Direction Large Arrow sign where geometric conditions or roadside obstacles prevent the installation of chevrons.
25 MPH & more	• RPMs and Chevrons; or • RPMs and One Direction Large Arrow sign where geometric conditions or roadside obstacles prevent the installation of chevrons.	• RPMs and Chevrons



### DELINEATOR AND CHEVRON SPACING

WHEN DEGREE OF CURVE OR RADIUS IS KNOWN

Degree of Curve	FEET		
	Radius of Curve	Spacing in Curve	Chevron Spacing in Straightway
1	5730	225	450
2	2865	160	320
3	1910	130	260
4	1433	110	220
5	1146	100	200
6	955	90	180
7	819	85	170
8	716	75	150
9	637	70	140
10	573	65	130
11	521	60	120
12	478	55	110
13	441	50	100
14	409	45	90
15	382	40	80
16	358	35	70
17	337	30	60
18	319	25	50
19	302	20	40
20	289	15	30
21	278	10	20
22	268	10	20
23	259	10	20
24	251	10	20
25	244	10	20
26	237	10	20
27	231	10	20
28	225	10	20
29	220	10	20
30	215	10	20
31	210	10	20
32	205	10	20
33	200	10	20
34	195	10	20
35	190	10	20
36	185	10	20
37	180	10	20
38	175	10	20
39	170	10	20
40	165	10	20

### DELINEATOR AND CHEVRON SPACING

WHEN DEGREE OF CURVE OR RADIUS IS NOT KNOWN

Advisory Speed (MPH)	Spacing in Curve	Spacing in Straightway	Chevron Spacing in Curve
65	130	260	200
60	110	220	160
55	100	200	160
50	95	170	160
45	75	150	120
40	70	140	120
35	60	120	120
30	55	110	80
25	50	100	80
20	40	80	80
15	35	70	40

If the degree of curve is not known, delineator spacing may be determined based on the Advisory Speed of the curve. Use the delineator curve spacing for each Advisory Speed (MPH).

### DELINEATOR AND OBJECT MARKER APPLICATION AND SPACING

CONDITION	REQUIRED TREATMENT	MINIMUM SPACING
Fwy./Exp. Tangent	RPMs	See FM-series and FPM-series standard sheets
Fwy./Exp. Curve	Single delineators on right side	See delineator spacing table
Fwy./Exp. Ramp	Single delineators on at least one side of ramp (should be on outside of curve) (see Detail 3 on D & OM (4))	100 feet on ramp tangents Use delineator spacing table for ramp curves ("straightway spacing" does not apply to ramp curves)
Acceleration/Deceleration Lane	Double delineators (see Detail 3 on D & OM (4))	100 feet (See Detail 3 on D & OM (4))
Truck Escape Ramp	Single red delineators on both sides	50 feet
Bridge Rail (steel or concrete) and Metal Beam Guard Fence	Bi-Directional Delineators when unidirectional with one lane each direction	Equal spacing (100' max) but not less than 3 delineators
Concrete Traffic Barrier (CTB) or Steel Traffic Barrier	Barrier reflectors matching the color of the edge line	Equal spacing 100' max
Cable Barrier	Reflectors matching the color of the edge line	Every 5th cable barrier post (up to 100' max)
Guard Rail Terminus/Impact Head	Divided highway - Object marker on approach end Unidivided 2-lane highway - Object marker on approach and departure end	Requires reflective sheeting provided by manufacturer per D & OM (1A) or a Type 3 Object Marker (OM-3) in front of the terminal end See D & OM (5) and D & OM (6)
Bridges with no Approach Rail	Type 3 Object Marker (OM-3) at end of rail and 3 single delineators approaching rail	See D & OM (5)
Reduced Width Approaches to Bridge Rail	Type 2 and Type 3 Object Markers (OM-3) and 3 single delineators approaching bridge	Requires reflective sheeting provided by manufacturer per D & OM (1A) or a Type 3 Object Marker (OM-3) in front of the terminal end See D & OM (5)
Culverts without MBGF	Type 2 Object Markers	See Detail 2 on D & OM (4)
Crossovers	Double yellow delineators and RPMs	See Detail 1 on D & OM (4)
Pavement Narrowing (lane merge) on Freeways/Expressway	Single delineators adjacent to affected lane for full length of transition	100 feet

### DELINEATOR & OBJECT MARKER PLACEMENT DETAILS

**D & OM (3) - 20**

1. Unless indicated otherwise, the delineator or barrier reflector color shall conform to the color of the pavement edge line on the side of the road where the delineators or barrier reflectors are placed.

2. Barrier reflectors may be used to replace required delineators.

3. Single red delineators may be mounted on the back side of delineator posts for wrong way driver applications.

**LEGEND**

- Bi-Directional Delineator
- Delineator
- Sign

Texas Department of Transportation Traffic Safety Division Standard

DATE: 08-05-2004  
BY: [Signature]  
CHECKED: [Signature]  
DATE: 8-15-2004

### REFLECTOR UNIT SIZES FOR DELINEATORS AND OBJECT MARKERS

DEVICE	REFLECTOR UNIT SIZES				DELINEATORS				D & OM DESCRIPTIVE CODES	
	SIZE 1	SIZE 2	SIZE 3	SIZE 4	SINGLE	DOUBLE	INSTL DEL ASSM	(D-XX)SZ X (XXXX)XXX (XX)		
DEVICES	3" x 1/2"	4" x 1/2"	6" x 1/2"	12" x 1/2"	1-Size 2 reflector unit	2-Size 1 reflector units	1-Size 2 reflector unit	1-Size 2 reflector unit		
SHEETING	Yellow, White or Red Type B or C reflective sheeting				Yellow, White or Red Type B or C Reflective Sheeting				NUMBER OF REFLECTORS S = Single D = Double COLOR OF REFLECTORS Y = Yellow W = White R = Red REFLECTOR UNIT SIZE 1 or 2 TYPE OF POST OR DELINEATOR WC = Wing Channel Post WFLX = White Flexible Post WFLR = White Flexible Post SRF = Surface Mount GND = Embedded (or visible or set in concrete) CTB = Concrete Barrier Mount GF1 or GF2 = Guard Fence Attachment SRF = Surface Mount	
NOTE	1. Size 1 and 4 - Direct applied reflective sheeting for use on flexible post (fix). 2. Size 2 and 3 - For use on wing channel (w/c) post only. Use approved metal, plastic or fiberglass backplate with 1/16" mounting holes.				SHEETING: Yellow, White or Red Type B or C Reflective Sheeting POST TYPE: WC, YFLX, WFLX, WFLR MOUNT TYPE: GND, SRF				TYPE OF MOUNT GND = Embedded (or visible or set in concrete) CTB = Concrete Barrier Mount GF1 or GF2 = Guard Fence Attachment SRF = Surface Mount	

### OBJECT MARKERS

DEVICE	Type 1 (OM-1)		Type 2 (OM-2)		Type 3 (OM-3)		Type 4 (OM-4)	
	OM-1	OM-2X	OM-2Y	OM-2Z	OM-3L	OM-3R	OM-3C	OM-4
DEVICES	18" x 18"	3-Size 2 reflector units	1-Size 3 reflector unit	3-Size 1 reflector unit	36" x 36"	36" x 48"	36" x 48"	18" x 18"
SHEETING	Yellow-Type B <sub>1</sub> or C <sub>1</sub> Sheeting		Yellow - Type B or C Sheeting		Alternating acrylic black and retroreflective yellow - Type B <sub>2</sub> or C <sub>2</sub> Sheeting		Red - Type B <sub>3</sub> or C <sub>3</sub> Sheeting	
NOTE	1. Reflective sheeting shall have a minimum dimension of 3 inches and minimum surface area of 9 square inches.							

### BARRIER REFLECTORS (BRP)

DEVICE	GF1	GF2	CTB
DEVICES	18" x 24"	24" x 30"	30" x 36"
SHEETING	Yellow, White, Red		
NOTE	1. Barrier reflectors shall meet the requirements of DMS 8600. 2. Approved Barrier Reflectors are listed on the "Barrier Reflectors Material Producer List" at: www.txdot.gov.		

### CHEVRONS

DEVICE	W1-8	W1-6
DEVICES	36" x 48"	48" x 24"
SHEETING	Yellow, White, Red	
NOTE	1. CHEVRON (W1-8) signs and ONE DIRECTION LARGE ARROW (W1-6) Signs shall be installed per Sign Mounting Details (SMD) Standard Sheets and sold under Item 644 (Small Roadside Sign Assemblies). 2. When there is a need to increase conspicuity, the Texas version of the ONE DIRECTION LARGE ARROW sign (W1-6T) may be used instead of the ONE DIRECTION LARGE ARROW (W1-6).	

### ONE DIRECTION LARGE ARROW

DEVICE	W1-6
DEVICES	48" x 24"
SHEETING	Yellow, White, Red
NOTE	1. Reflective sheeting shall have a minimum dimension of 3 inches and minimum surface area of 9 square inches.

### DEPARTMENTAL MATERIAL SPECIFICATIONS

ITEM	DESCRIPTION	ITEM NUMBER
DMS-4400	FLEXIBLE DELINEATOR & OBJECT MARKER POSTS (EMBEDDED & SURFACE MOUNT TYPES)	DMS-4400
DMS-8300	SIGN FACE MATERIALS	DMS-8300
DMS-8600	DELINEATORS, OBJECT MARKERS AND BARRIER REFLECTORS	DMS-8600

### POST TYPE AND SUPPORT FOUNDATION DETAILS

WING CHANNEL (WC)	FLEXIBLE POSTS (YFLX, WFLX)	WEDGE ANCHOR SYSTEMS	TYPE OF BARRIER MOUNTS
GND	GND	WAS	GF1
GND	SRF	WAP	GF2
SRF	SRF	STEEL	CONCRETE TRAFFIC BARRIER (CTB)
SRF	SRF	PLASTIC	

### TYPES 1, 3, AND 4 OBJECT MARKERS AND CHEVRONS

### CHEVRONS AND ONE DIRECTION LARGE ARROW SIGN

### DELINEATORS AND TYPE 2 OBJECT MARKERS

### GENERAL NOTES

- Place delineators on a section of roadway at a consistent distance from the edge of pavement.
- Where a restriction prevents consistent placement from the pavement edge, place the affected object markers in line with the innermost edge of the obstruction.
- When Type 2 object markers and delineators are more than 8'-0" from the edge of the pavement, it may not be possible to maintain a height of approximately 4'-0". If this is the case, place the object marker or delineator as close to the desired height as possible.
- Install all delineators, object markers and barrier reflectors in accordance with the manufacturer's recommendation.
- Barrier reflectors should be installed a minimum of 18 inches above the edge of the pavement surface.
- Diagonal stripes on Type 3 object markers shall slope down toward the intended travel lane.

Texas Department of Transportation Traffic Safety Division Standard

**DELINEATOR & OBJECT MARKER INSTALLATION**

**D & OM (2) - 20**

DATE: 08-05-2004  
BY: [Signature]  
CHECKED: [Signature]  
DATE: 8-15-2004

REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
**PURE STRIKE DEVELOPMENT**  
 LP & B&T REALTY  
 P.O. BOX 10421  
 COLLEGE STATION, TX 77842

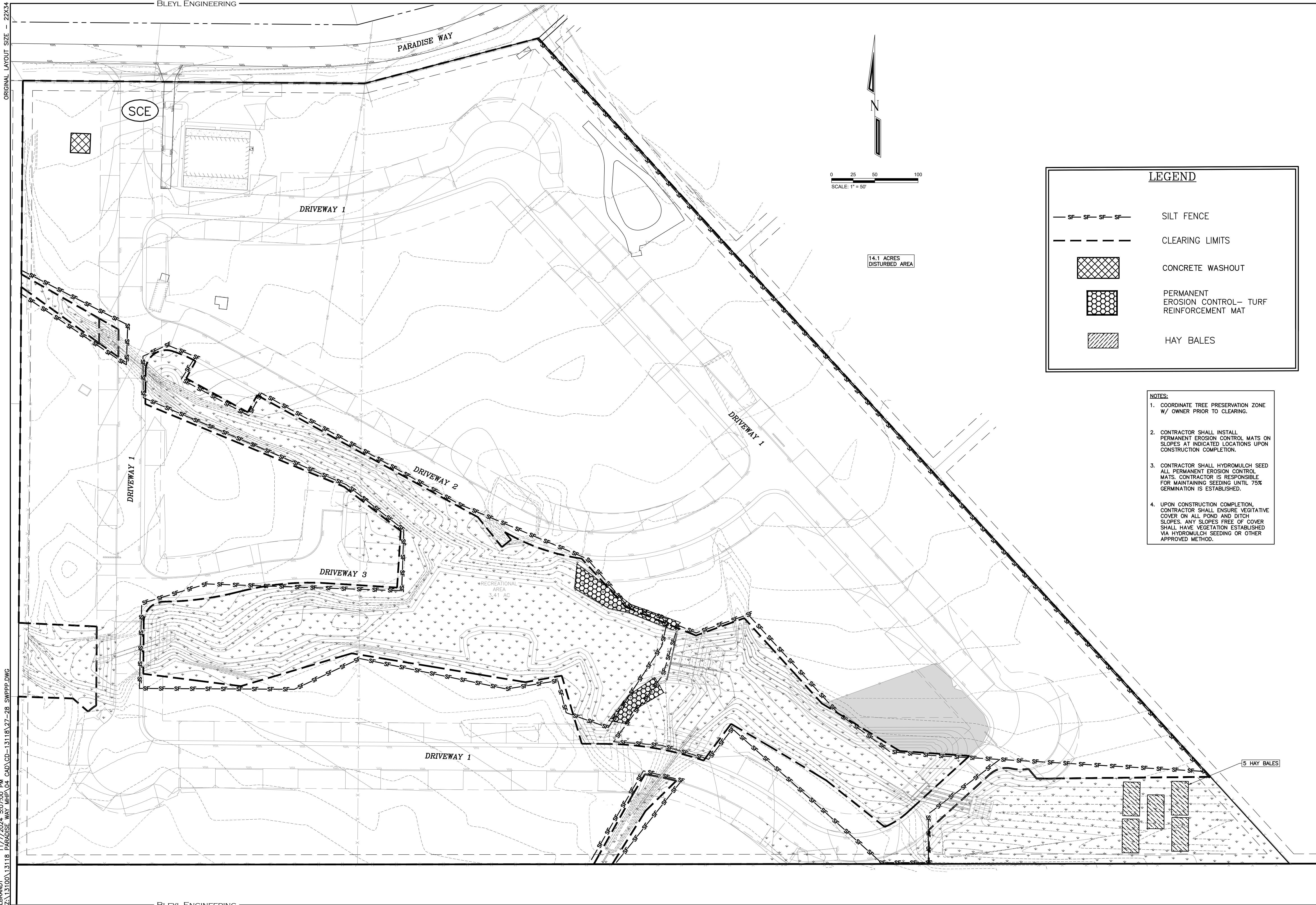
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AUSTIN BRYAN CONROE HOUSTON

MISC. DETAILS  
**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

DESIGN: KMS  
 CAD: KMS RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 25 OF: 27

STATE OF TEXAS  
 KRISTINA M. SURBER  
 128636  
 LICENSED PROFESSIONAL ENGINEER  
 11/08/2024



**LEGEND**

- SILT FENCE
- CLEARING LIMITS
- CONCRETE WASHOUT
- PERMANENT EROSION CONTROL- TURF REINFORCEMENT MAT
- HAY BALES

- NOTES:**
- COORDINATE TREE PRESERVATION ZONE W/ OWNER PRIOR TO CLEARING.
  - CONTRACTOR SHALL INSTALL PERMANENT EROSION CONTROL MATS ON SLOPES AT INDICATED LOCATIONS UPON CONSTRUCTION COMPLETION.
  - CONTRACTOR SHALL HYDROMULCH SEED ALL PERMANENT EROSION CONTROL MATS. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SEEDING UNTIL 75% GERMINATION IS ESTABLISHED.
  - UPON CONSTRUCTION COMPLETION, CONTRACTOR SHALL ENSURE VEGETATIVE COVER ON ALL POND AND DITCH SLOPES. ANY SLOPES FREE OF COVER SHALL HAVE VEGETATION ESTABLISHED VIA HYDROMULCH SEEDING OR OTHER APPROVED METHOD.

REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
**PURE STRIKE DEVELOPMENT LP & B&T REALTY**  
 P. O. BOX 10421  
 COLLEGE STATION, TX 77842

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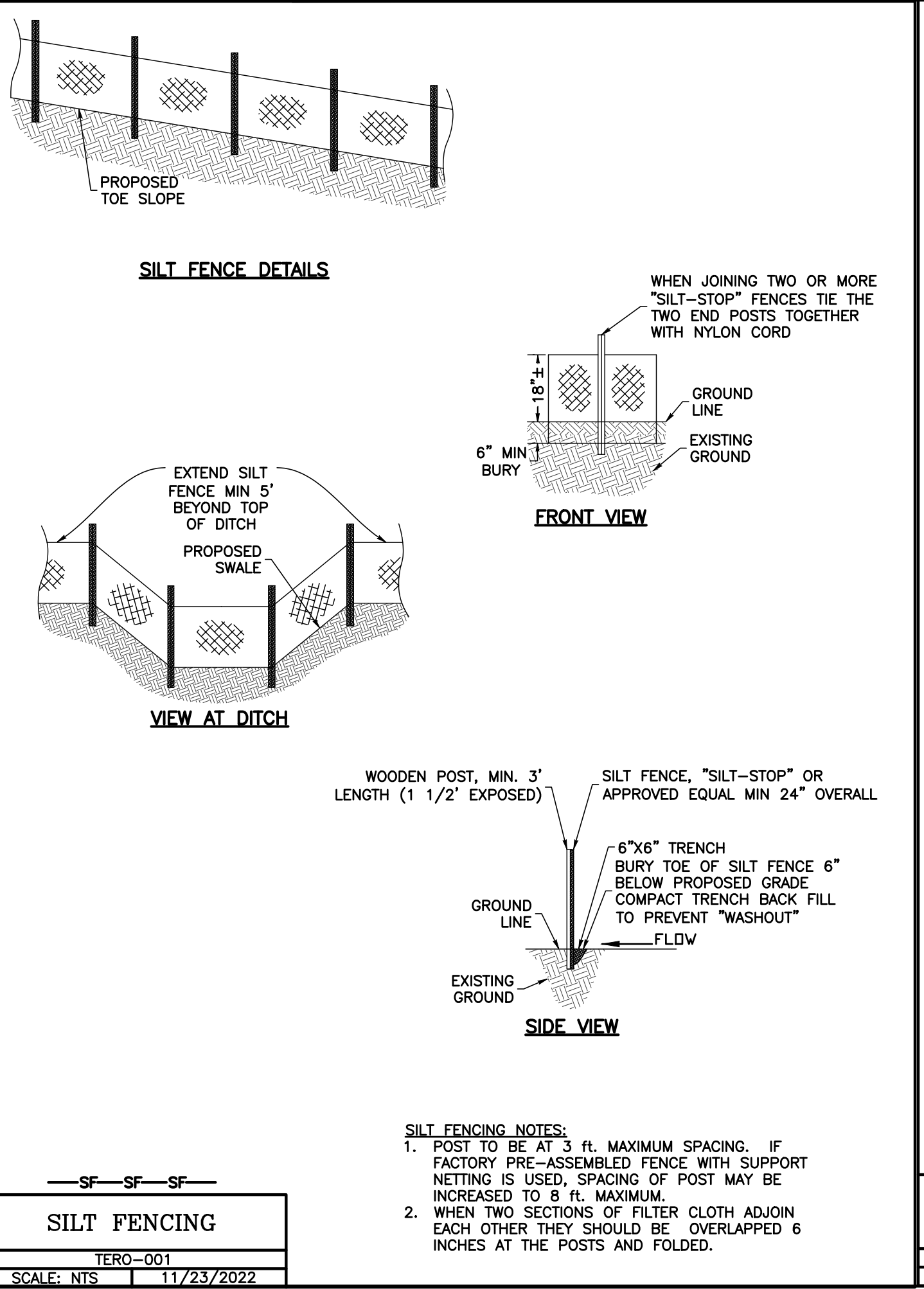
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**PARADISE WAY MOBILE HOME PARK**  
 LOT 6 AND 7, 7-11 RANCH, PHASE 1  
 1100 PARADISE WAY  
 BRAZOS COUNTY

STATE OF TEXAS  
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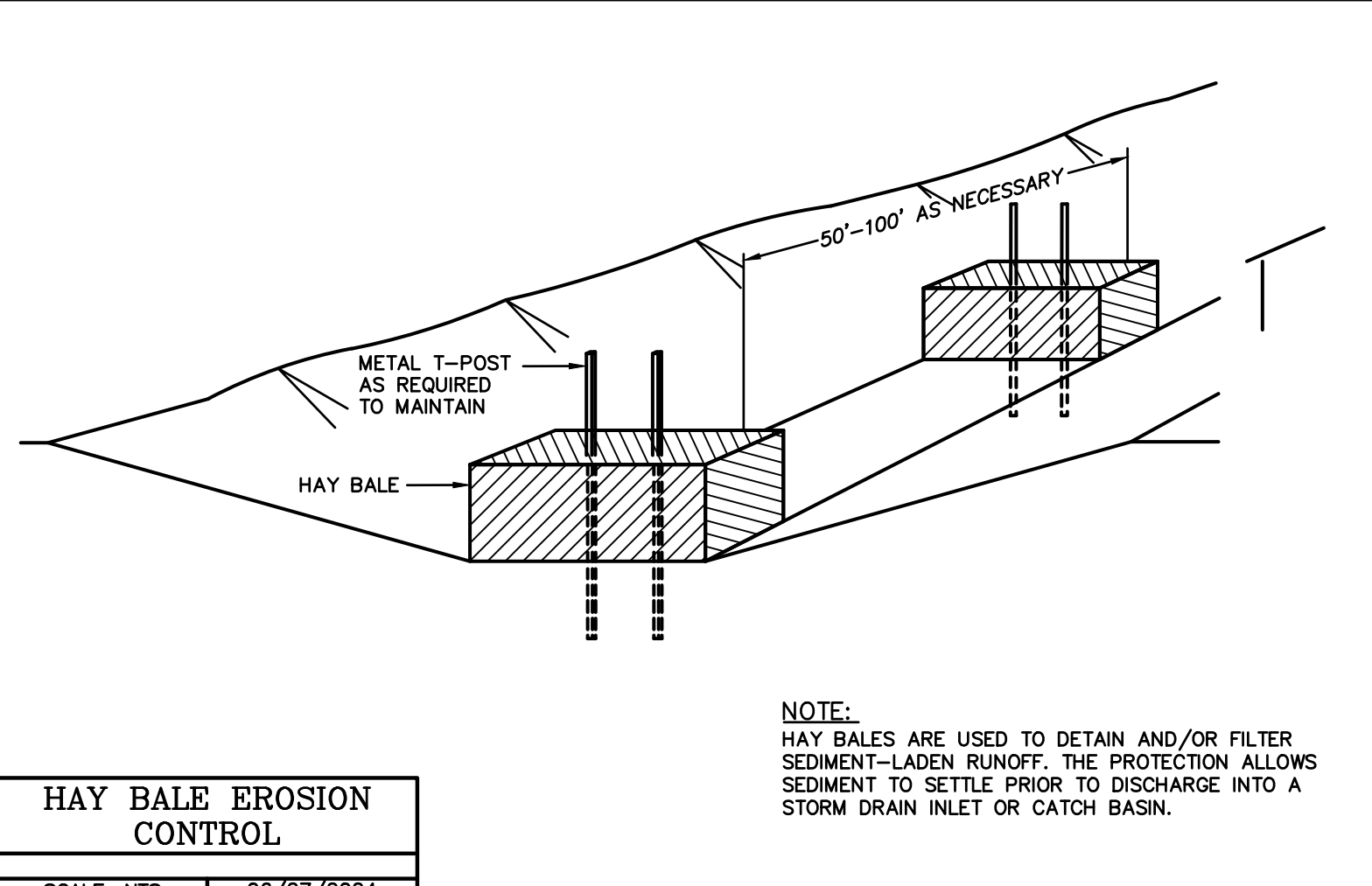
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 CAD: KMS    RVW: TOW  
 PROJECT NO: 13118  
 SHEET: 26    OF: 27

**EROSION CONTROL NOTES**

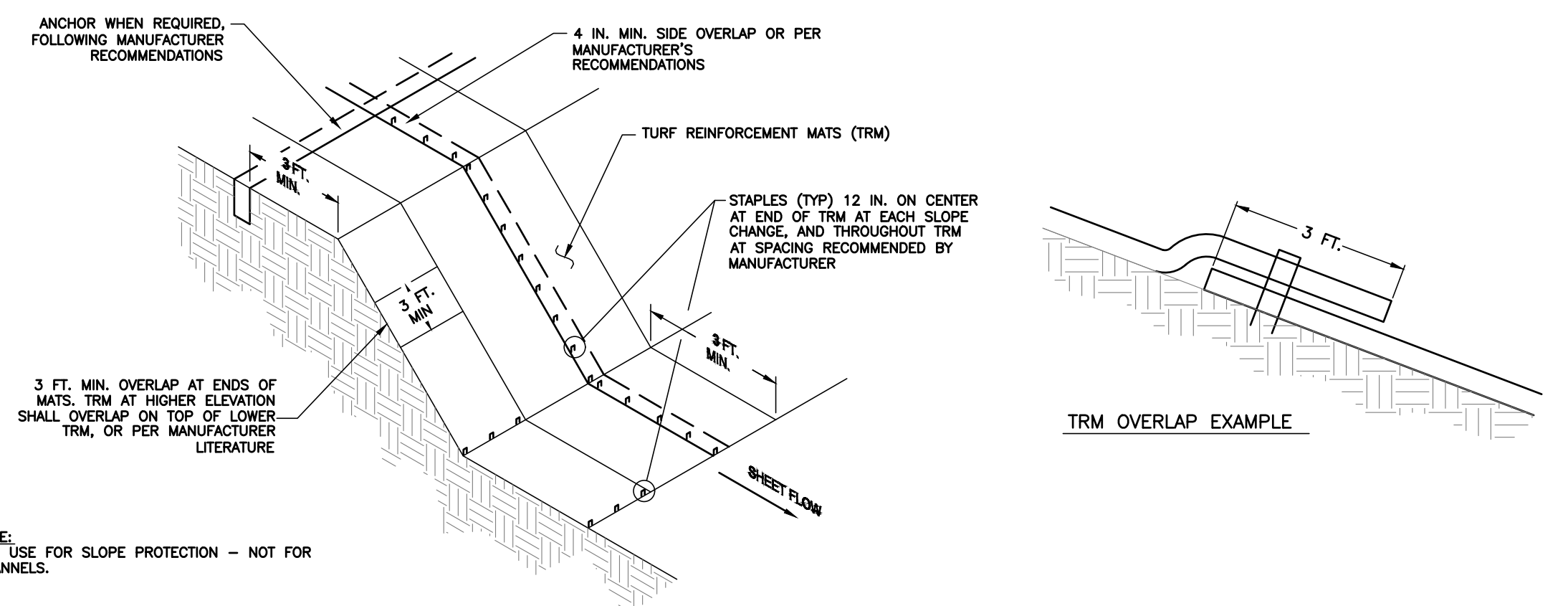
- CONTRACTOR SHALL IMPLEMENT SILT FENCE ALONG DRIVE AND SIDE DITCHES AT LOCATIONS SHOWN ON THE TEMPORARY EROSION CONTROL PLAN TO KEEP SILT AND OR EXCAVATED MATERIALS FROM ENTERING INTO THE DITCHES.
- DURING THE EXCAVATION PHASE OF THE PROJECT, CONTRACTOR SHALL SCHEDULE THE WORK IN SHORT SEGMENTS SO THAT EXCAVATION MATERIAL CAN BE QUICKLY HAULED AWAY FROM THE SITE AND TO PREVENT IT FROM STAYING UNCOLLECTED ON THE EXISTING PAVEMENT. ANY LOOSE EXCAVATED MATERIAL WHICH FALLS ON PAVEMENTS OR DRIVEWAYS SHALL BE SWEEPED BACK INTO THE EXCAVATED AREA.
- CONTRACTOR SHALL CLEAN UP THE EXISTING STREET INTERSECTIONS AND DRIVEWAYS DAILY, AS NECESSARY, TO REMOVE ANY EXCESS MUD, SILT OR ROCK TRACKED FROM THE EXCAVATED AREA.
- CONTRACTOR SHALL FOLLOW GOOD HOUSEKEEPING PRACTICES DURING THE CONSTRUCTION OF THE PROJECT, ALWAYS CLEANING UP DIRT AND LOOSE MATERIAL AS CONSTRUCTION PROGRESSES.
- CONTRACTOR TO INSPECT AND MAINTAIN THE AREAS LISTED BELOW AT LEAST ONCE EVERY FOURTEEN (14) CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM EVENT OF 0.5 INCHES OR GREATER.
  - DISTURBED AREAS OF THE CONSTRUCTION SITE THAT HAVE NOT BEEN FINALLY STABILIZED.
  - AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
  - STRUCTURAL CONTROL MEASURES.
  - LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
- CONTRACTOR TO BE RESPONSIBLE TO MAINTAIN EXISTING DITCHES AND/OR CULVERTS FOR UNOBSTRUCTED DRAINAGE AT ALL TIMES. WHERE SODDING IS DISTURBED BY EXCAVATION OR BACKFILLING OPERATIONS, SUCH AREAS SHALL BE REPLACED BY SEEDING OR SODDING. SLOPES 4:1 OR STEEPER SHALL BE REPLACED BY BLOCK SODDING.
- THE SITE SUPERINTENDENT, OR HIS REPRESENTATIVE, SHALL MAKE A VISUAL INSPECTION OF ALL SILTATION CONTROLS AND NEWLY STABILIZED AREAS ON A DAILY BASIS, ESPECIALLY AFTER A RAINFALL TO INSURE THAT ALL CONTROLS ARE MAINTAINED AND PROPERLY FUNCTIONING. ANY DAMAGED CONTROLS SHALL BE REPAIRED PRIOR TO THE END OF THE WORK DAY, INCLUDING RE-SEEDING AND MULCHING OR RE-SODDING IF NECESSARY. ALL INSPECTIONS SHALL BE DOCUMENTED WITH A WRITTEN REPORT WITHIN 24 HOURS, WHICH MUST DETAIL ANY REPAIRS DEEMED NECESSARY. SUCH REPAIRS SHALL BE INITIATED WITHIN 24 HOURS OF THE REPORT.
- ALL SEDIMENT TRAPPING DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER THE AREA HAS BEEN DISTURBED. ALL SEDIMENT TRAPPING DEVICES SHALL BE CLEANED WHEN THE SEDIMENT LEVEL REACHES 25% CAPACITY. SEDIMENT SHALL BE DISPOSED OF BY SPREADING ON SITE OR HAULING AWAY IF NOT SUITABLE FOR FILL.
- SEDIMENT FENCE, HAY BALE BARRIERS, OR OTHER SEDIMENT TRAPPING DEVICES SHALL CONTROL ALL STORM WATER LEAVING THE WORK AREA. ALL FILL OR CUT AREAS SHALL BE HYDRO-MULCHED OR SODDED AS PER THE ENGINEERS' PLANS UPON COMPLETION OR WITHIN 14 DAYS OF SOIL DISTURBING ACTIVITIES.
- THE CONTRACTOR SHALL SEED ALL AREAS WHEN SOIL-DISTURBING ACTIVITIES CEASED FOR A PERIOD OF MORE THAN 14 DAYS.
- SILTATION CONTROL (AS SHOWN ON THE DETAIL SHEETS) WILL BE PROVIDED AT ALL STORM DRAIN INLETS ONCE THEY ARE ABLE TO CONVEY WATER. THE SILTATION CONTROL WILL BE REMOVED ONCE TURF IS ESTABLISHED.
- CONTRACTOR SHALL HYDROMULCH SEED ALL DISTURBED AREAS. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING SEEDING TILL 75% GERMINATION IS ESTABLISHED.
- THE CONTRACTOR IS RESPONSIBLE FOR FILING A NOTICE OF INTENT A MINIMUM OF 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR FILING A NOTICE OF TERMINATION AT THE COMPLETION OF THE PROJECT.



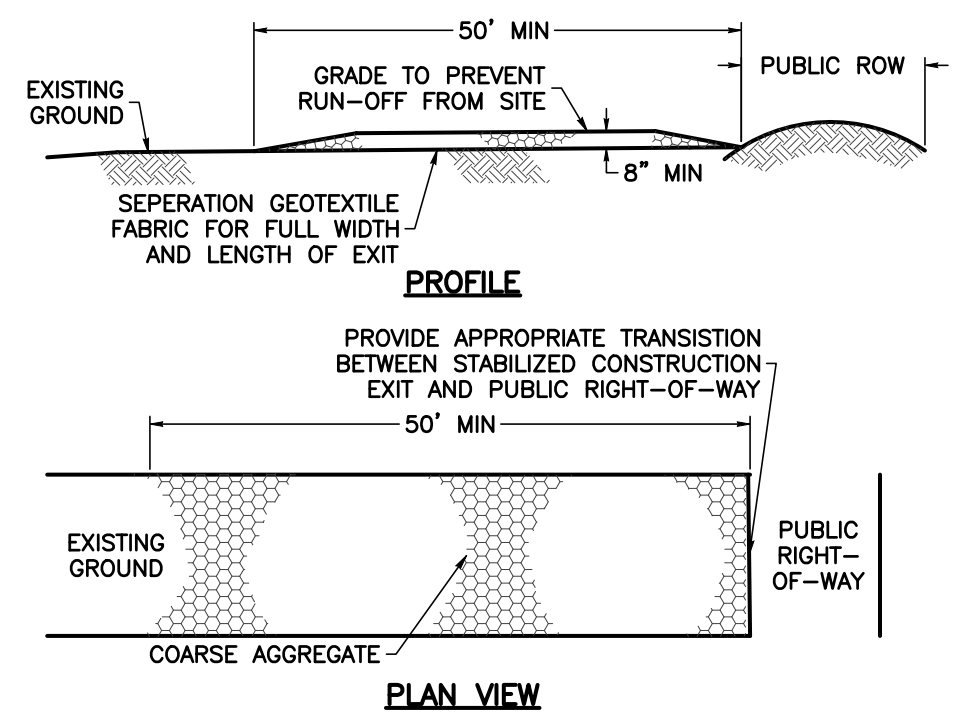
**SILT FENCING**  
TERO-001  
SCALE: NTS 11/23/2022



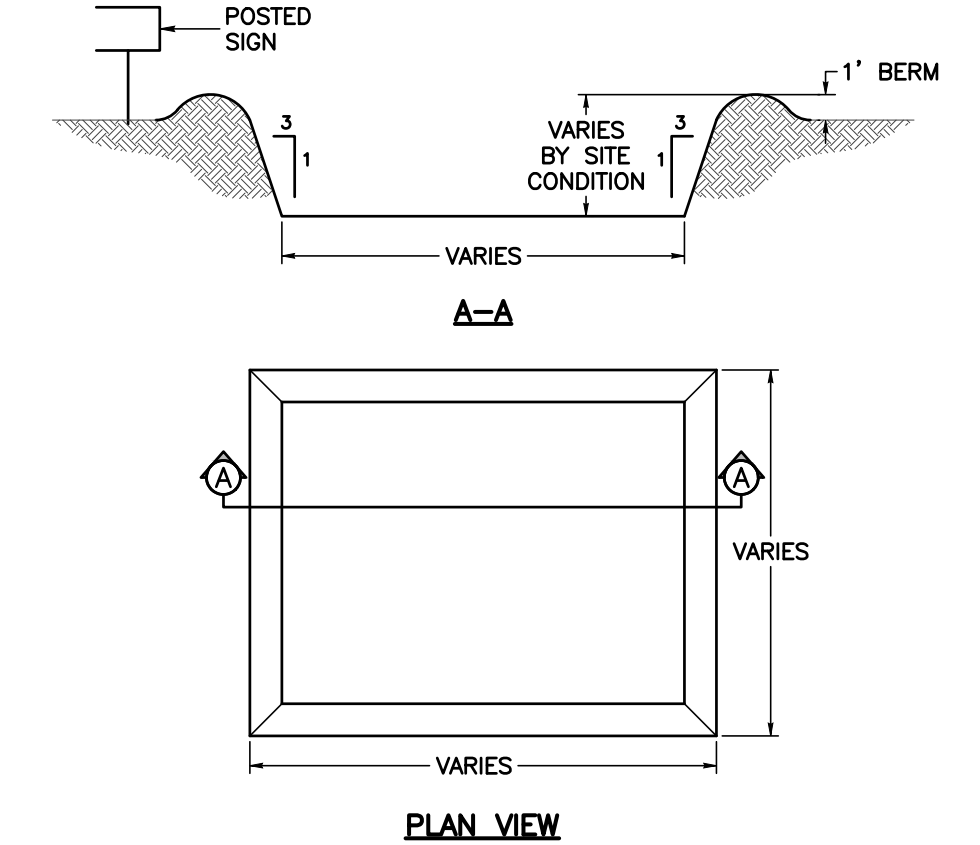
**TURF REINFORCEMENT MAT**  
SCALE: NTS 08/02/2023



- NOTES:**
- TURF REINFORCEMENT MATS SHALL NOT BE USED ON SLOPES GREATER THAN 2:1 OR IN CHANNELS WITH SHEAR STRESSES GREATER THAN 2.0 POUNDS PER SQUARE FOOT
  - PRIOR TO THE INSTALLATION OF ANY TURF REINFORCEMENT MATS, ALL ROCKS, DIRT GLOBS, STUMPS, ROOTS, TRASH, AND ANY OTHER OBSTRUCTIONS THAT WOULD PREVENT THE MAT FROM LYING IN DIRECT CONTACT WITH THE SOIL SHALL BE REMOVED. ANCHOR TRENCHING SHALL BE LOCATED ALONG THE ENTIRE PERIMETER OF THE INSTALLATION AREA, EXCEPT FOR SMALL AREAS WITH LESS THAN 2% SLOPE.
  - INSTALLATION AND ANCHORING SHALL CONFORM TO THE RECOMMENDATIONS WITHIN THE MANUFACTURE PUBLISHED LITERATURE FOR THE APPROVED TURF REINFORCEMENT MAT. PARTICULAR ATTENTION MUST BE PAID TO JOINTS AND OVERLAPPING MATERIAL.
  - IN THE ABSENCE OF MANUFACTURE'S LITERATURE, A MINIMUM 11-GAUGE WIRE STAPLES, 6-INCHES IN LENGTH AND 1-INCH WIDTH WILL BE USED.
  - AFTER APPROPRIATE INSTALLATION, THE MATS SHOULD BE CHECKED FOR UNIFORM CONTACT WITH THE SOIL. SECURITY OF THE LAP JOINTS, AND FLUSHNESS OF THE STAPLES WITH THE GROUND.
  - REGULAR INSPECTION SHALL OCCUR TO REPLACE OR RE-ANCHOR LOOSENED MATS AND TO REMOVE SEDIMENT DEPOSITED ON MATS.
  - INSPECTION SHALL BE SPECIFIED IN THE SWPPP.



**STABILIZED CONSTRUCTION EXIT**  
TERO-003  
SCALE: NTS 10/26/18



**CONCRETE WASH OUT**  
TERO-009  
SCALE: NTS 03/01/19

REV	DATE	BY	APP	COMMENT

PREPARED FOR:  
**PURE STRIKE DEVELOPMENT**  
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DESIGN: KMS  
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