



# TENNIS & MULTIPURPOSE FACILITY

CITY OF BRYAN

2650 MIDTOWN PARK BLVD  
BRYAN, TX 77801

## DESIGN DEVELOPMENT

2024/09/09

CLIENT PROJECT NO: 4023008  
TDLR NO: TABS2025000341



DESIGN DEVELOPMENT

2650 MIDTOWN PARK BLVD  
BRYAN, TX 77801

TENNIS & MULTIPURPOSE FACILITY



### CITY COUNCIL

BOBBY GUTIERREZ  
PAUL TORRES  
RAY ARRINGTON  
JARED SALVATO  
JAMES EDGE  
MARCA EWERS-SHURTLEFF  
KEVIN BORISKIE

### MAYOR

COUNCILMEMBER, DISTRICT 1  
COUNCILMEMBER, DISTRICT 2  
COUNCILMEMBER, DISTRICT 3  
COUNCILMEMBER - MAYOR PRO TEM, DISTRICT 4  
COUNCILMEMBER, DISTRICT 5  
COUNCILMEMBER AT LARGE, PLACE 6

### CITY OFFICIALS

KEAN REGISTER  
HUGH R. WALKER  
JOSEPH A. DUNN  
MARY LYNNE STRATTA

CITY MANAGER  
DEPUTY CITY MANAGER  
DEPUTY CITY MANAGER  
CITY SECRETARY

LANDSCAPE  
**TBG**  
1333 WEST LOOP S SUITE 1450  
HOUSTON, TX 77027  
T 713.439.0027

CIVIL  
**MITCHELL & MORGAN**  
3204 EARL RUDDER FWY S  
COLLEGE STATION, TX 77845  
T 972.260.6923

CONTRACTOR  
**SPAWGLASS**  
4020 SH-6 SUITE 300  
COLLEGE STATION, TX 77845  
T 979.401.3270

ARCHITECT  
**PBK SPORTS**  
14001 DALLAS PKWY SUITE 400  
DALLAS, TX 75240  
T 972.233.1323

STRUCTURAL  
**WALTER P. MOORE**  
1301 MCKINNEY ST. SUITE 1100  
HOUSTON, TX 77010  
T 713.630.7300

AUDIO / VISUAL  
**TECHNICAL DESIGN GROUP**  
191 TEAL LN  
KYLE, TX 78640  
T 512.422.5156

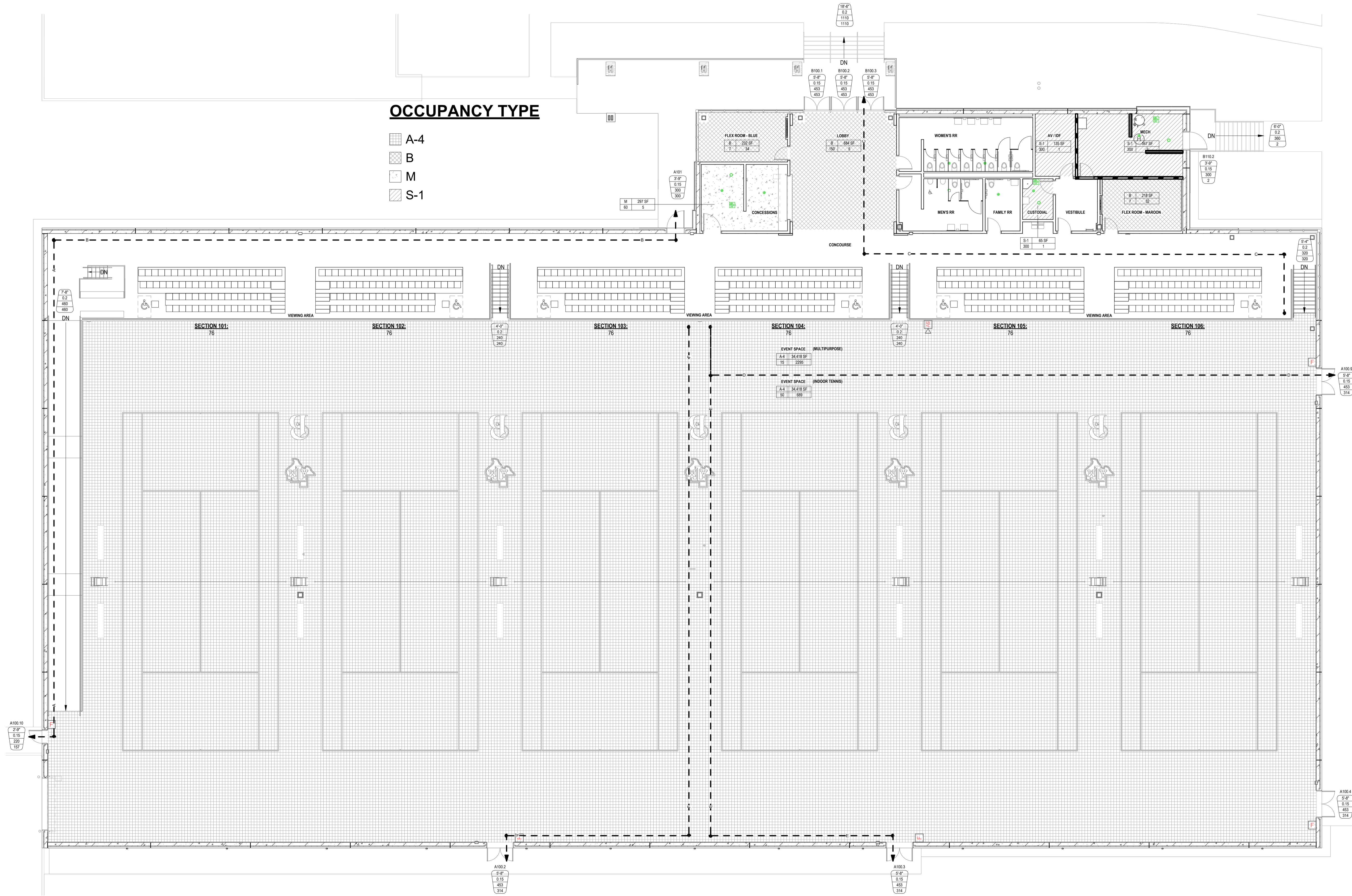
TECHNOLOGY  
**COMBS CONSULTING GROUP**  
2245 TEXAS DR  
SUGARLAND, TX 77479  
T 832.252.9755

MEPT  
**LTY ENGINEERS**  
5700 GRANITE PKWY SUITE 315  
PLANO, TX 75024  
T 469.808.9777

GEO TECH  
**GESSNER ENGINEERS**  
401 W 26TH ST SUITE 3  
BRYAN, TX 77803  
T 979.680.8840

FOOD SERVICE  
**FDP**  
25317 INTERSTATE 45  
THE WOODLANDS, TX 77380  
T 281.350.2323

GRAPHICS / BRANDING  
**BLUE RING CREATIVE**  
11 GREENWAY PLAZA 22ND FLOOR  
HOUSTON, TX 77046  
T 832.838.2883



**OCCUPANCY TYPE**

- A-4
- B
- M
- S-1

**LEGEND - CODE COMPLIANCE**

**AREA OCCUPANCY TAG**

- OCUPANCY TYPE
- AREA
- OCCUPANT LOAD
- OCCUPANT LOAD FACTOR

**PATH OF TRAVEL**

- EXIT ACCESS
- COMMON PATH OF TRAVEL (LABELED)

**BUILDING ELEMENTS**

- EXISTING PARTITION TO REMAIN
- TEMPORARY PARTITION
- SMOKE BARRIER
- 1 HOUR FIRE BARRIER
- 2 HOUR FIRE BARRIER
- 3 HOUR FIRE BARRIER
- 4 HOUR FIRE BARRIER
- 4 HOUR FIRE / SMOKE BARRIER
- FIRE RATED DOOR

**SMOKE PROTECTED EXIT**

- EGRESS WIDTH
- OCCUPANCY LOAD FACTOR
- MAXIMUM OCCUPANT EGRESS
- OCCUPANTS SERVED

**NON-SMOKE PROTECTED EXIT**

- EXIT SIGN (AT DOOR)
- EXIT SIGN (WITH ARROW)
- FIRE EXTINGUISHER IDENTIFIER (RE: FEC SCHEDULE)

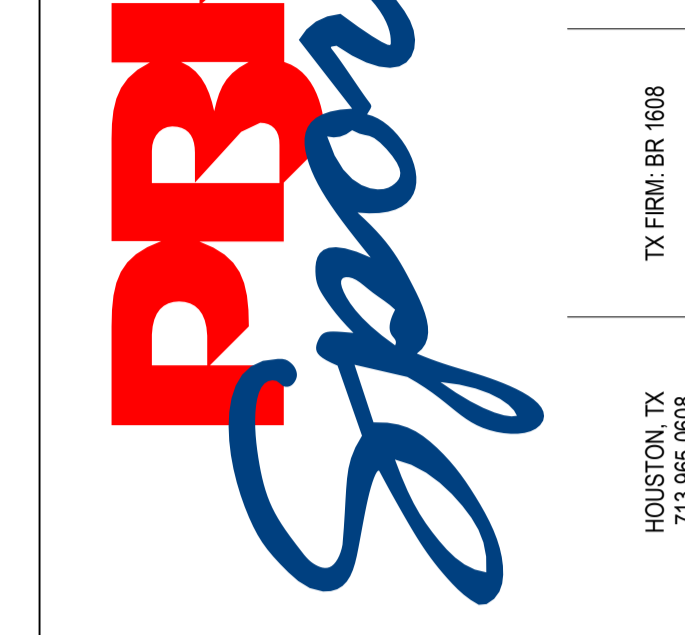
**GENERAL NOTES - CODE COMP**

1. UL ASSEMBLIES ESTABLISH A BASIS OF PERFORMANCE. OTHER ASSEMBLIES MAY BE CONSIDERED AT THE DISCRETION OF THE ARCH IF EQUIVALENT PERFORMANCE IS PROVIDED.
2. PROTECT ALL CONDUIT, PIPES, DUCTS, AND MISC. PENETRATIONS THROUGH FIRE-RATED WALLS, FLOORS, AND OR ROOF ASSEMBLIES WITH FIRE SAFING INSULATION AND FIRE STOP SEALANT. REFER TO GUIDELINES FOR APPROPRIATE ASSEMBLIES.
3. PERMANENTLY MARK ALL FIRE-RATED WALLS ABOVE CEILINGS, OR WITHIN 12 INCHES OF DECKING IF NO CEILING IS PRESENT, AS FOLLOWS:
  - "FIRE BARRIER - PROTECT ALL OPENINGS"
  - LETTERS SHALL BE RED IN COLOR AND A MINIMUM OF 3 INCHES IN HEIGHT WITH A 3/8 INCH STROKE. PROVIDE A MINIMUM OF ONE MARKING WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL.
4. PERMANENTLY MARK ALL SMOKE PARTITIONS ABOVE CEILINGS, OR WITHIN 12 INCHES OF DECKING IF NO CEILING IS PRESENT, AS FOLLOWS:
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**PATH OF TRAVEL SCHEDULE - LEVEL**

TYPE	PATH	TRAVEL DISTANCE	
		ACTUAL	MAX
TRAVEL DISTANCE TO AN EXIT	A	127'-0"	200'-0"
TRAVEL DISTANCE TO AN EXIT	B	150'-0"	200'-0"
TRAVEL DISTANCE TO AN EXIT	C	147'-0"	200'-0"
TRAVEL DISTANCE TO AN EXIT	D	155'-0"	200'-0"
TRAVEL DISTANCE TO AN EXIT	E	165'-0"	200'-0"
TRAVEL DISTANCE TO AN EXIT	F	165'-0"	200'-0"

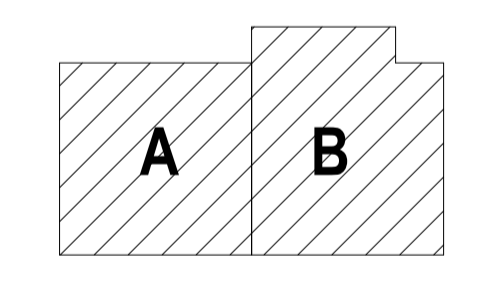
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BRYAN, TX 77801

DESIGN DEVELOPMENT



**KEY PLAN**

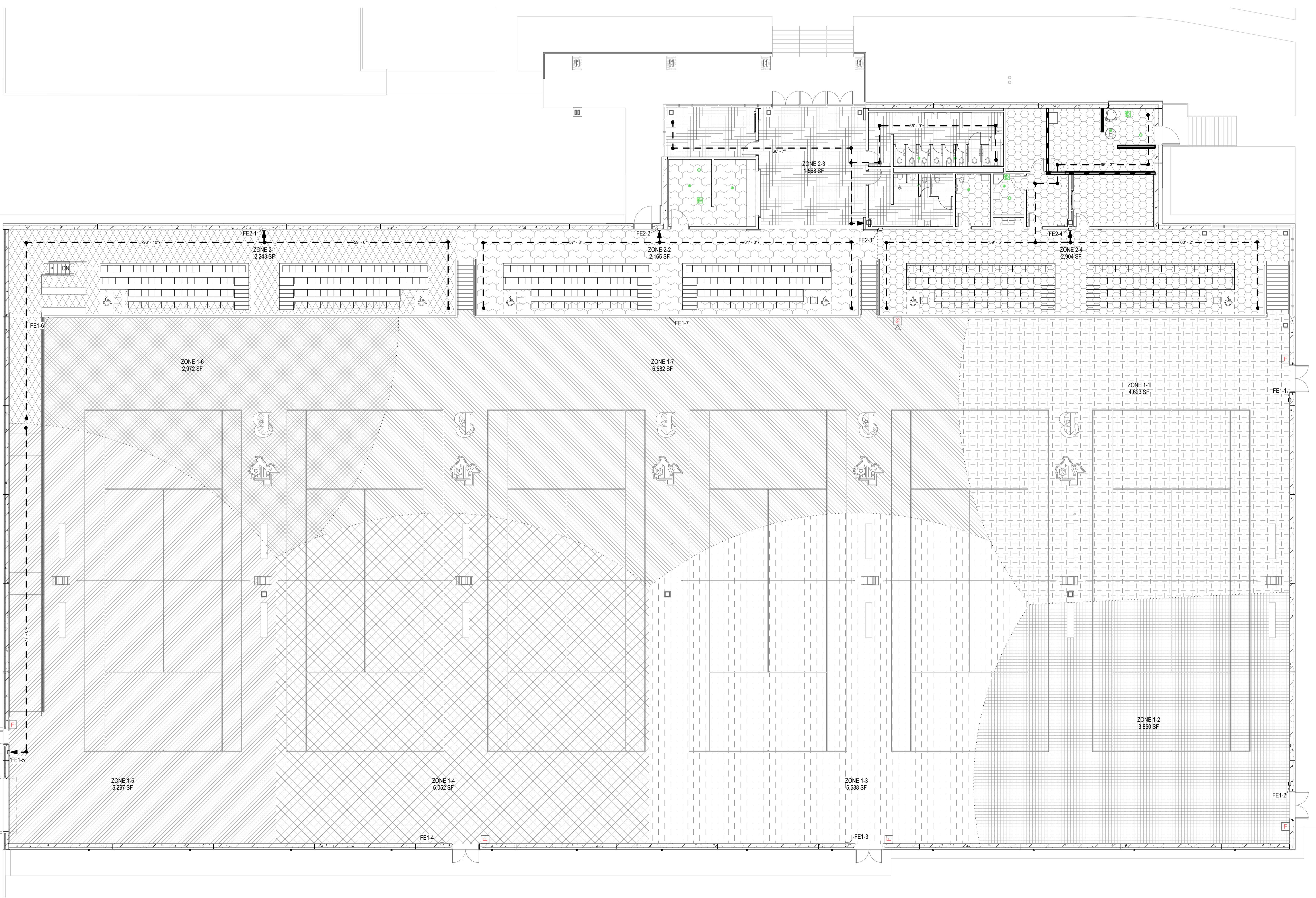
NORTH: PLAN

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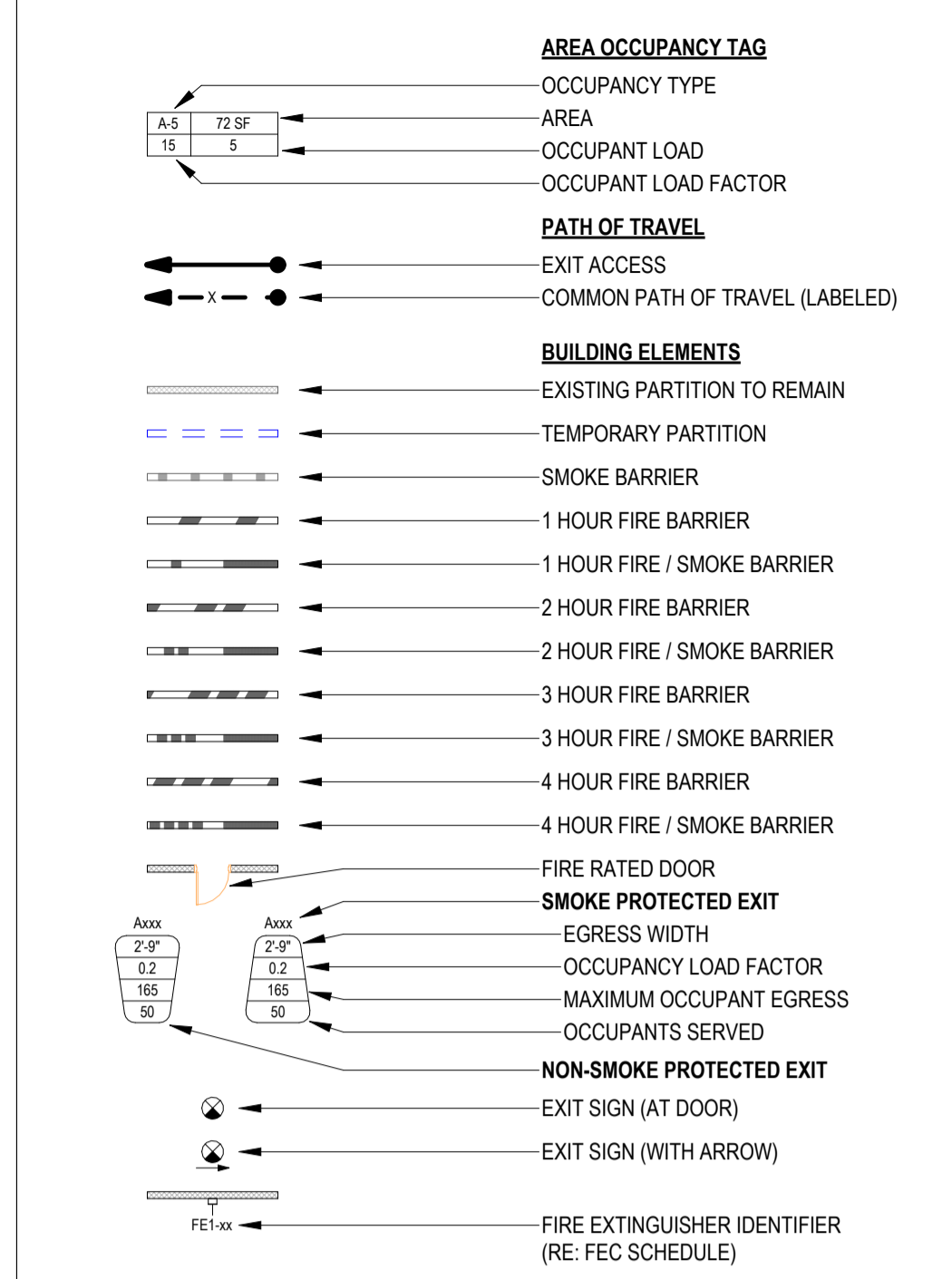
CLIENT		
CITY OF BRYAN		
PRK PROJECT NUMBER	CLIENT	
230460	4023008	
DATE	2024/09/09	
DRAWING HISTORY		
No.	Description	Date

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**LIFE SAFETY EGRESS PLAN**



**LEGEND - CODE COMPLIANCE**



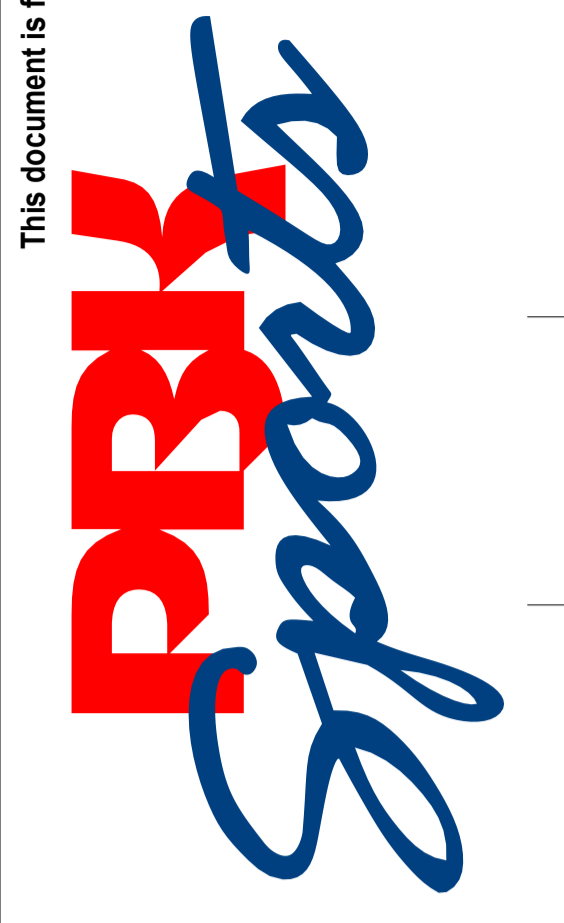
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**FIRE EXTINGUISHER SCHEDULE**

ID	CABINET TYPE	EXTINGUISHER SIZE	COVERAGE AREA	MAX. TRAVEL DIST.
<b>EVENT LEVEL</b>				
FE1-1	4A:80B:C		4,823 SF	75'-0"
FE1-2	4A:80B:C		3,850 SF	71'-7"
FE1-3	4A:80B:C		5,888 SF	75'-0"
FE1-4	4A:80B:C		6,082 SF	75'-0"
FE1-5	4A:80B:C		5,297 SF	77'-6"
FE1-6	4A:80B:C		2,972 SF	75'-0"
FE1-7	4A:80B:C		6,582 SF	94'-9"
<b>CONCOURSE LEVEL</b>				
FE2-1	4A:80B:C		2,243 SF	96'-10"
FE2-2	4A:80B:C		2,165 SF	61'-3"
FE2-3	4A:80B:C		1,568 SF	66'-7"
FE2-4	4A:80B:C		2,904 SF	65'-3"

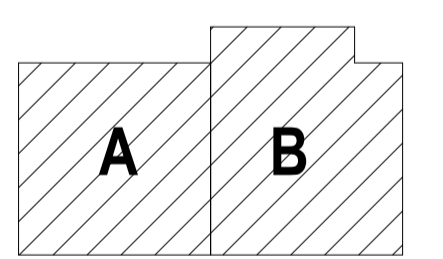
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TENNIS & MULTIPURPOSE FACILITY

2650 MIDTOWN PARK BLVD  
BRYAN, TX 77801

DESIGN DEVELOPMENT



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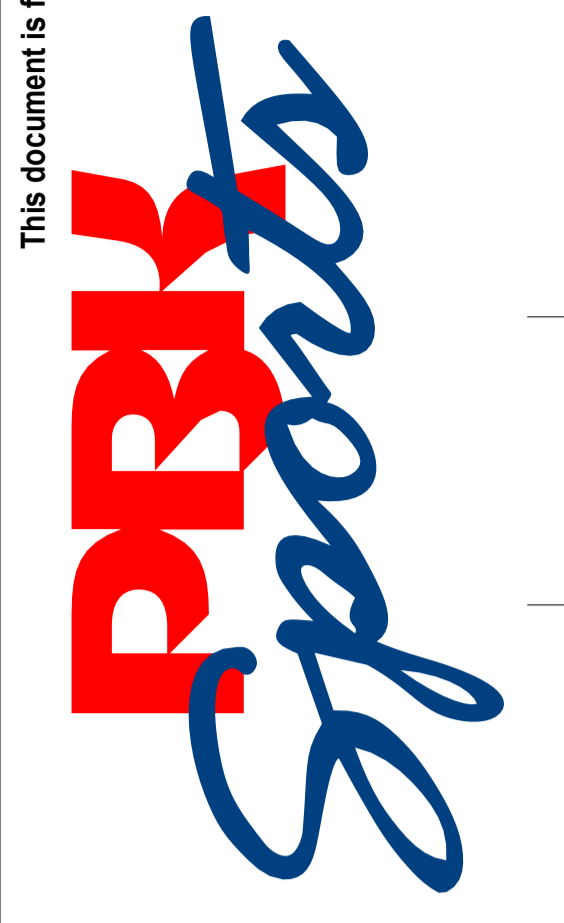
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CITY OF BRYAN	CLIENT	
PBK PROJECT NUMBER 230460	CLIENT 4023008	
DATE 2024/09/09		
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**FIRE EXTINGUISHER PLAN**

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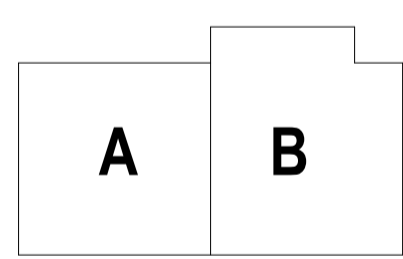
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71395-0616  
TX FIRM BR 1698  
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BRYAN, TX 77801

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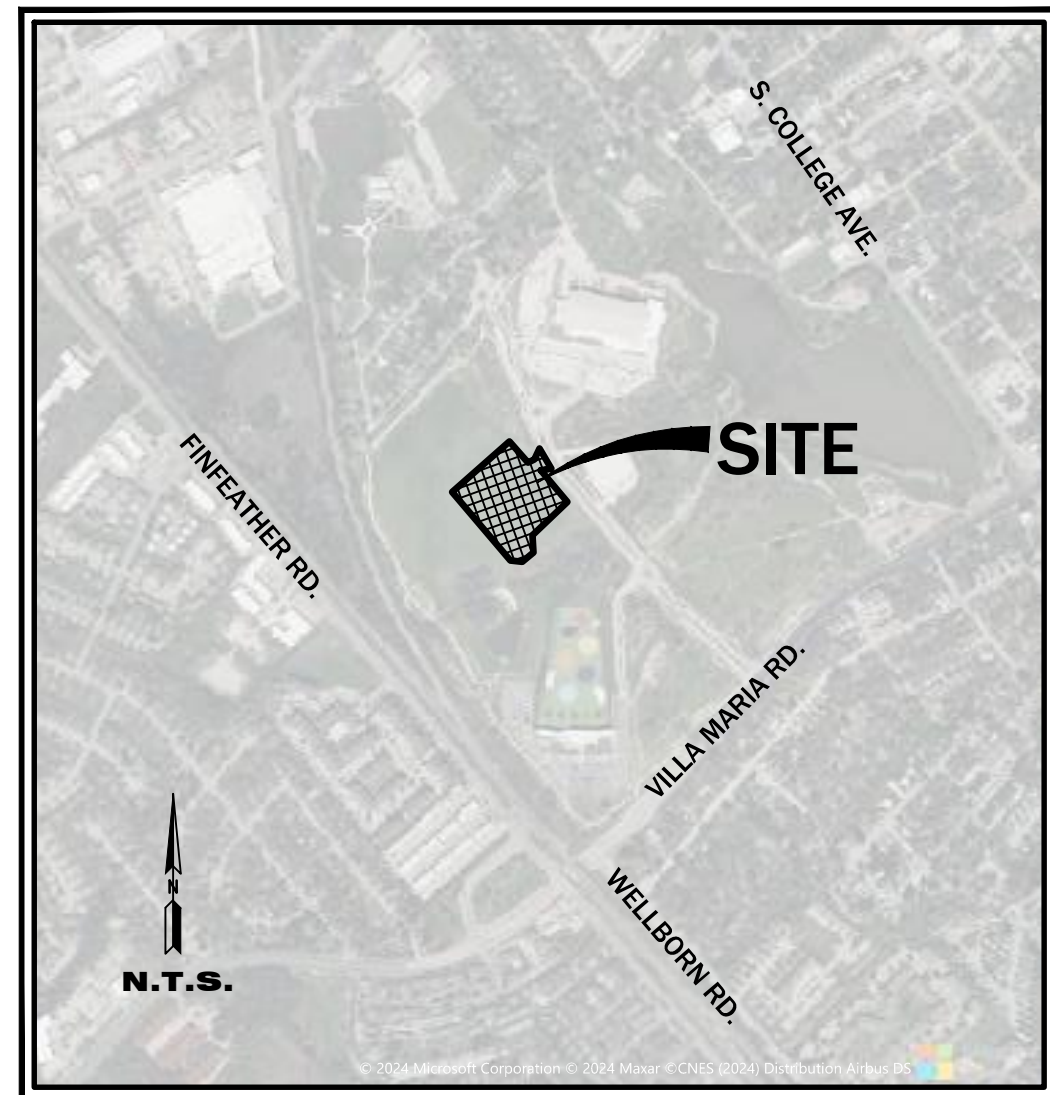
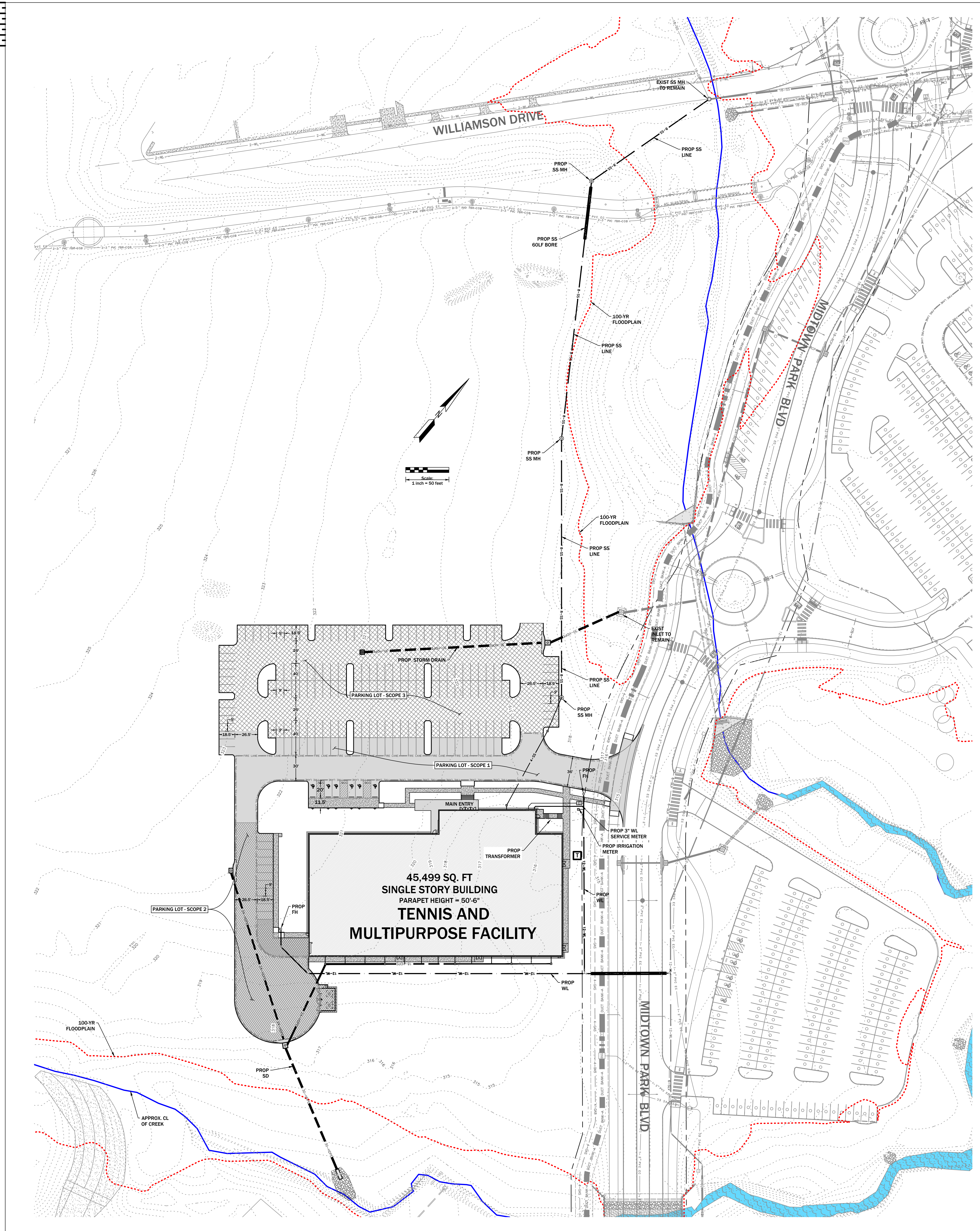
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BUILDING RENDERS

# G100



VICINITY MAP  
(NTS)

- GENERAL CONSTRUCTION NOTES:**
- It shall be the responsibility of the Contractor to verify the exact location of ALL existing underground utilities. Furthermore, the Contractor shall contact all utility company representatives a minimum of 48 hours in advance of any excavation.
  - Contact Dig Toss @ 1-800-344-6377
  - Contact Dan Augburger @ Suddenlink 979-846-2229
  - Contact Leslie Carroll @ Frontier 979-821-4752
  - Contact Brandon Charanza @ BTU (Electrical) 979-825.5784
  - Contact Jayson Barfknecht @ Public Works (Water/Wastewater) 979-209-5900
  - Contact Corey Lemond @ Atmos Gas (Gas) 888-286-6700
- All construction shall be in accordance with the current City of Bryan (COB) Standard Specifications for Street Construction, B/CS Unified Technical Specifications, Water and Sewer and Generals, and BCS Unified Design Details. All inspection shall be performed by the staff of the City Engineer of COB. All construction shall be coordinated with the City of Bryan City Engineer.
  - In lieu of using the construction materials indicated in these plans, the Contractor shall obtain written approval from the Engineer for any substitution prior to construction. Requests for changes should include product information and an engineers seal where applicable. The contractor shall be financially responsible for the engineer's time spent reviewing changes and redesigning based on contractors requests.
  - Trench Safety Requirements shall be in accordance with O.S.H.A. Standard 29 CFR Part 1926 Subpart P and all Federal, state and local regulations.
  - TRENCHING AND BACKFILLING: All trenching and backfilling shall conform to the specifications set out herein. Testing shall be provided by a certified laboratory, at the Owner's expense, to verify these standards. Any retesting due to substandard work shall be at the expense of the Contractor. Structural areas shall include all sidewalks and shall extend 2' beyond the curb lines of all streets, alleys and parking areas.
  - It is the responsibility of the contractor to comply with all State and Federal Regulations regarding construction activities near energized overhead power lines. Additionally, the contractor shall coordinate all proposed work and procedures with BTU, as applicable.
  - All materials and labor not identified as a Separate Bid Item shall be considered subsidiary to the item in which it is used. All materials and equipment shall be both furnished and installed unless otherwise noted.
  - The Contractor must provide construction staking from the information provide on these plans. The contractor shall be provided with a CAD C3D file and CAD surface for the benefit of construction. The contractor shall CONFIRM all dimensions prior to construction.
  - All soil exposed by construction shall receive cellulose-fibermuch seeding unless otherwise noted. Contractor shall submit to City of Bryan Parks Department seed mix specification and have approval of desired seed mix prior to ordering fibermuch seeding.
  - Trenches may be left open overnight if properly barricaded.
  - Adjustment of Water Meters, Valves, Manholes, Irrigation Systems, and any other Public or Private Utility, etc. will be paid for as a separate pay item, provided they are necessary and are not a part of the new line construction. In the case they are part of the new line construction, the price of the adjustment shall be subsidiary to the construction of Sewer Lines, Force Main, etc.
  - The contractor shall coordinate with Suddenlink Communications, BTU, City of Bryan, Atmos, and Frontier to adjust the location of existing facilities, if necessary.
  - The contractor is responsible for traffic control.
  - Temporary spoil areas will be identified on site by owner.
  - All dimensions are to the back of curb unless otherwise noted.
  - 100% coverage of groundcover or a perennial grass is required in swales, drainage areas, rights-of-way, and adjacent property disturbed during construction.

**PARKING LEGEND**  
CITY PARKING REQUIREMENTS:  
Community Center Area = 1/250 SF x 45,499 SF = 182 Spaces

Category	Value
182 SPACES REQUIRED	
PARKING PROVIDED SCOPE 1	= 30 SPACES
PARKING PROVIDED SCOPE 2	= 4 SPACES (HANDICAP)
PARKING PROVIDED SCOPE 3	= 11 SPACES
PARKING PROVIDED SCOPE 3	= 132 SPACES
182 SPACES PROVIDED	

- SITE PLAN NOTES:**
- Name of Project: TENNIS & MULTIPURPOSE FACILITY
  - Legal: County Club Lake Addn, Lot 1 & 2, Block 1
  - Address: 2650 MIDTOWN PARK BLVD, BRYAN, TX 77801
  - Owner: CITY OF BRYAN  
FINANCE DEPT ACCTS PAYABLE  
P.O. BOX 1000  
BRYAN, TX 77805-1000  
(979) 209-5000
  - Engineer: MITCHELL & MORGAN, L.L.P.  
3204 EARL RUDDER Fwy, S.  
COLLEGE STATION, TX 77845  
(979) 200-6963
  - Zoning: PD - PLANNED DEVELOPMENT
  - Existing Use: UNDEVELOPED - PARK
  - Proposed Use: SPORTS AND EVENT CENTER
  - Setbacks: PER City of Bryan ORDINANCES
  - Overall Site Area: 4.98 AC
  - Water Demands:  
Min. = 0.00 gpm  
Avg. = XXXXXX gpm  
Peak = XXXXXX gpm
  - Sanitary Demands:  
Avg. = XXXXXX GPD  
Peak = XXXXXX GPD
  - Dumpster Pads shown are 24 ft x 12 ft and it will be screened from view from public ROW. Enclosures will be a 6 ft high CMU screen wall.
  - All pavement shall have a 6 inch spill curb unless otherwise noted.
  - All sanitary sewer lines shown hereon are private and require a plumbing permit to be pulled prior to construction.
  - This site lies within the 100-year floodplain boundary per FEMA's Flood Insurance Rate Map panel 45042C025F, Effective date: April 2, 2014.
  - All signage will be permitted separately.
  - Any fence over 7 ft in height will require a building permit.

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HOUSTON, TX 71385-0088

TX FIRM BR 1608

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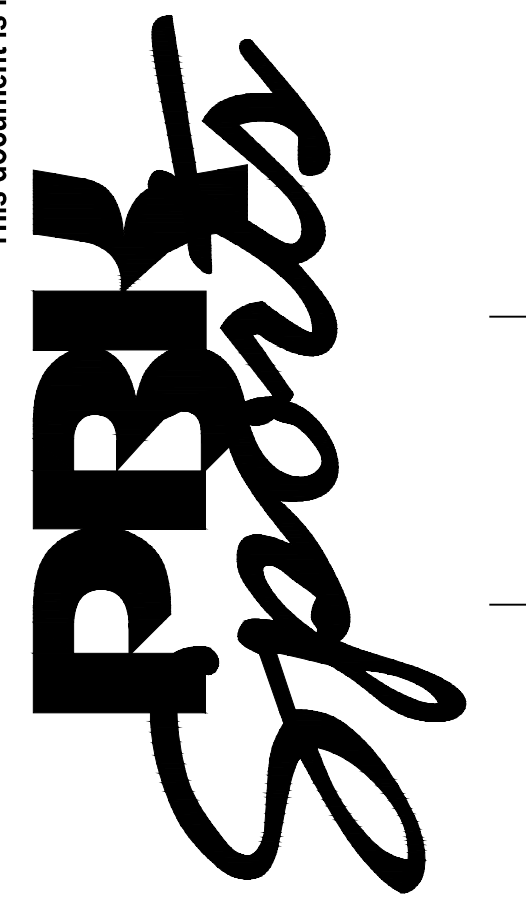
DESIGN DEVELOPMENT

TENNIS & MULTIPURPOSE FACILITY

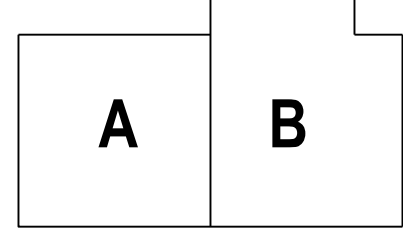
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OVERALL SITE PLAN

C1.01



TENNIS & MULTIPURPOSE FACILITY



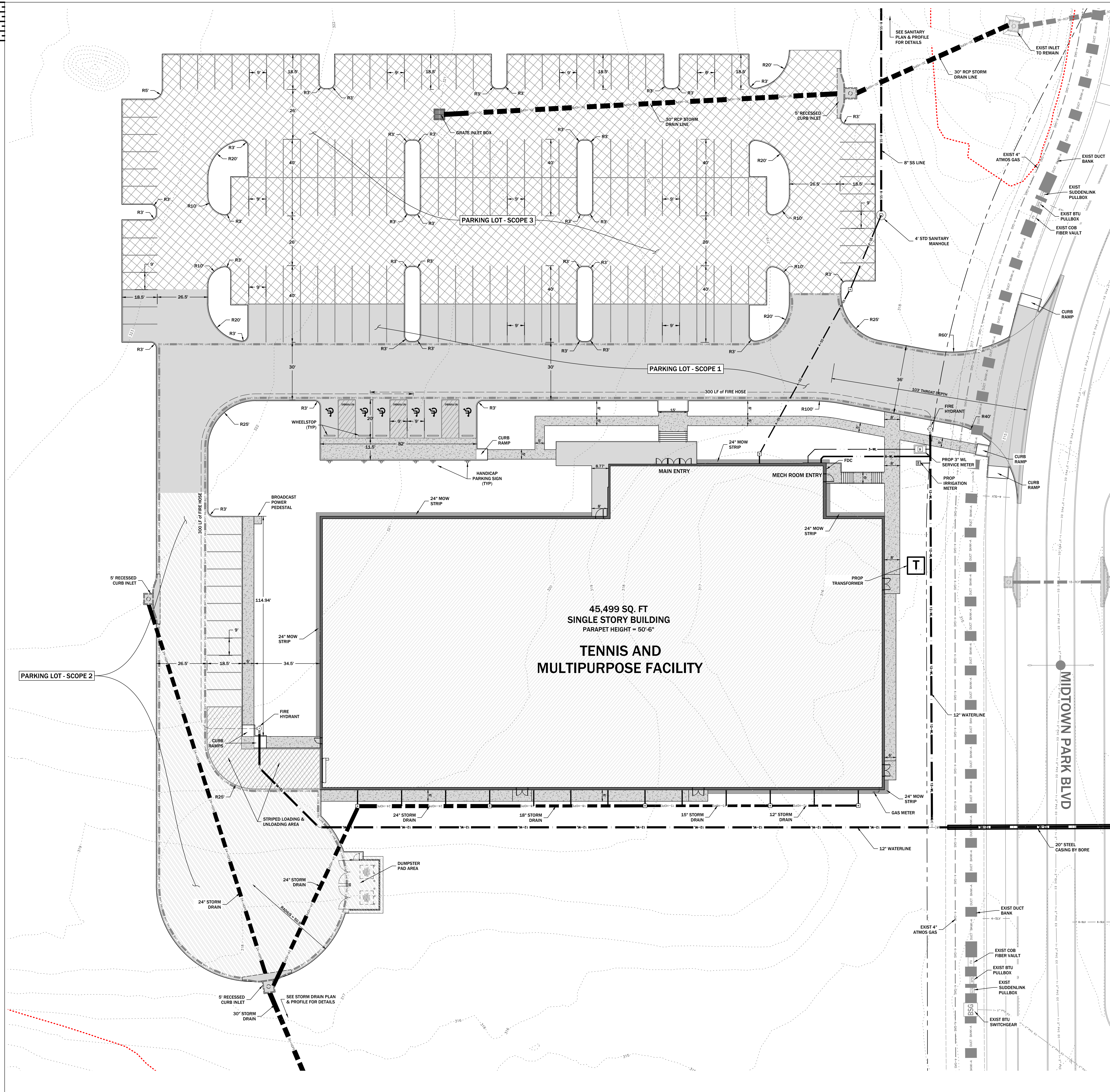
KEY PLAN  
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CLIENT		
CITY OF BRYAN	PROJECT NUMBER	CLIENT
230460	4023008	
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OVERALL SITE PLAN

C1.01



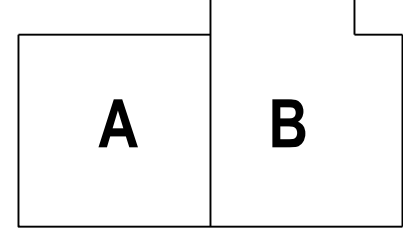
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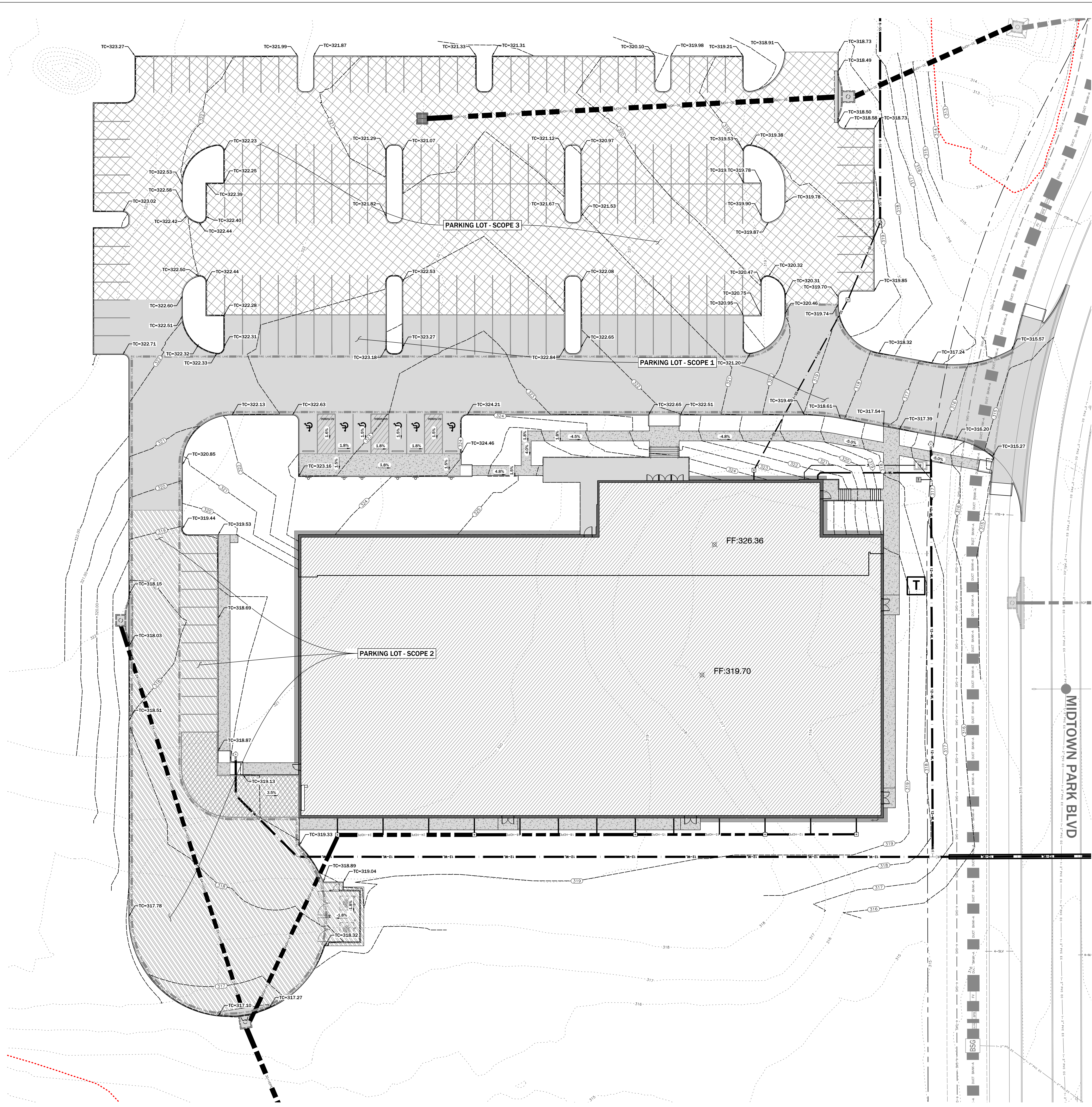
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PARTIAL SITE PLAN

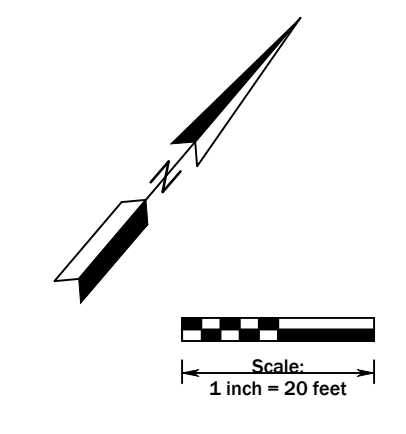
C1.02

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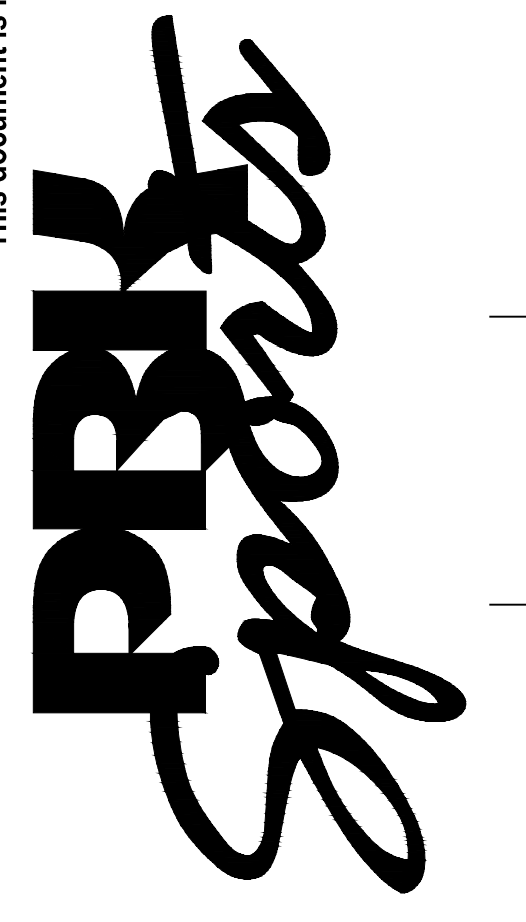


- GRADING PLAN NOTES:**
- The contractor shall place all silt fence and other sediment trapping devices for the graded area and stockpile area prior to any land disturbing activities.
  - The contractor shall strip and stockpile the top 6" of soil for the entire graded area. Stockpiles shall be placed in a manner which does not adversely affect drainage.
  - The contractor must then proceed with grading operations. General cut / fill soil shall be segregated from the topsoil in the stockpile area.
  - The final grade in all landscape areas shall include at least 6" of topsoil.
  - Any stockpiled material must be removed from the site prior to substantial completion.
  - All soil exposed by construction shall receive cellulose fibermesh seeding.
  - The contractor is responsible for ADA compliance. All sidewalks and buildings on the project shall be accessible.
  - Handrails at all drop offs will be required by building code.

LEGEND	
312	EX. CONTOURS
312	PROP. CONTOURS
TC	Top of Curb
FL	Flowline of Pavement/Ground
TS	Top of Sidewalk
TG	Top of Ground



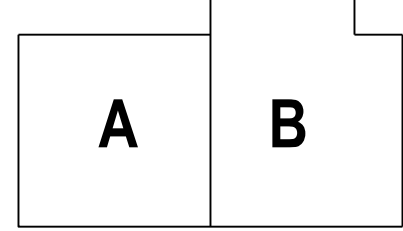
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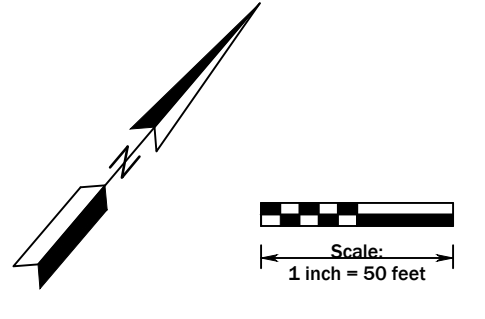
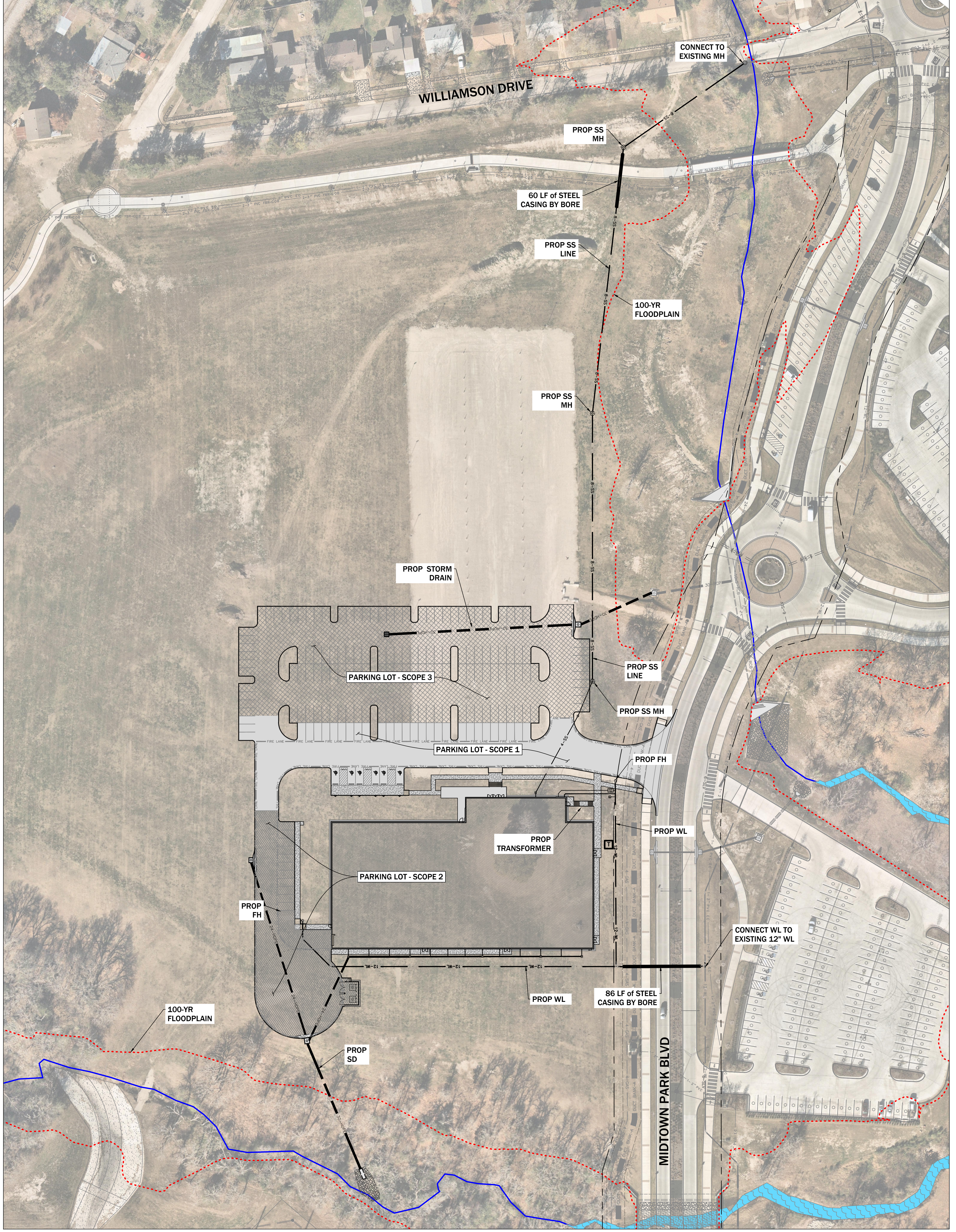
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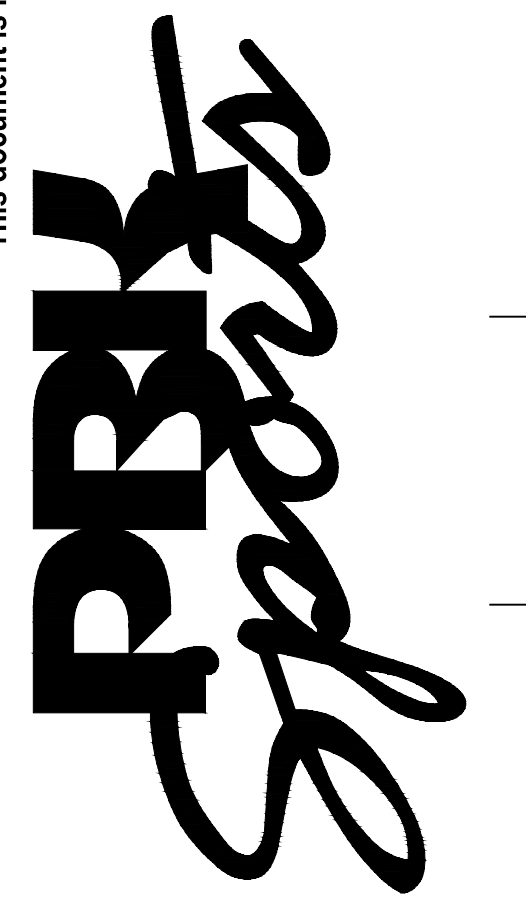
OVERALL GRADING PLAN

C2.01

# DESIGN DEVELOPMENT



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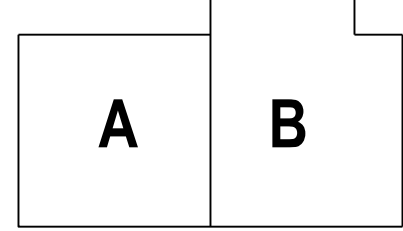
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OVERALL UTILITY PLAN

C3.01

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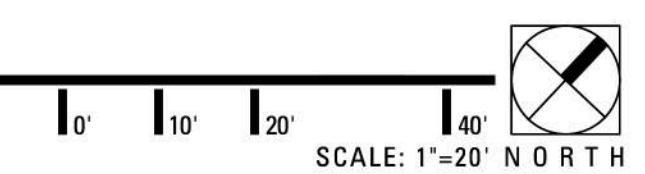


# DESIGN DEVELOPMENT



1 site plan rendering

PLAN



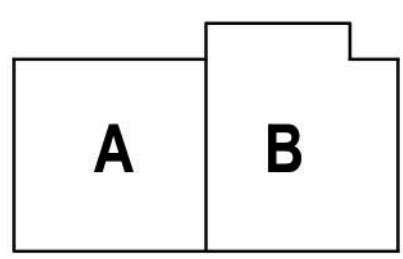
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TENNIS & MULTIPURPOSE FACILITY

2650 MIDTOWN PARK BLVD  
BRYAN, TX 77801

DESIGN DEVELOPMENT



KEY PLAN  
NORTH PLAN TRUE

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CLIENT		
CITY OF BRYAN		
PBK	PROJECT NUMBER	CLIENT
230460	4023008	
DATE		
2024/09/09		
DRAWING HISTORY		
No.	Description	Date

site plan rendering