

**BUILDING AND STANDARDS COMMISSION
STAFF REPORT**

June 21, 2021



Case # 2406 – 120 South Main Street



LEGAL DESCRIPTION: City Of Bryan Townsite, Block 256, Lot 1 (40' of) & 11' of W 27th St, "La Salle Hotel" & Associated BPP

STRUCTURE(S): commercial

PROPERTY OWNER(S): LH3 Hospitality, LLC

**LIENHOLDER(S)/
MORTGAGEE(S):** none

ACTIVE UTILITIES: yes no **DISCONNECTED ON:** N/A

APRIL 2021 COMMISSION ORDER AND CASE UPDATE:

- Previous commission orders from the January 2021 and February 2021 Building and Standards Commission meetings are mostly the same as the April 2021 order below in regards to repairs to guest room windows. All other items such as the water tank repairs, interior repairs, and repairs to windows at first floor have been completed by the owner.
- During the April 26, 2021, Building and Standards Commission meeting, the Commission accepted staff's recommendation and ordered that:

the building may feasibly be repaired so that it is no longer in violation of City ordinances and must be repaired November 1, 2021, in accordance with the owner-provided time schedule, as follows:

LASALLE HOTEL BUILDINGS AND STANDARDS MEETING FEBRUARY PROGRESS UPDATE/TIMELINE	
Date	Item
FEB - MAR PROGRESS	COMPLETED plumbing repairs
	COMPLETED stairwell lighting
	COMPLETED Water Tank repair
March 10	Texas Historical Commission - APPROVAL GRANTED
April 14	HLC Meeting - APPROVAL GRANTED
April 26	Building and Standards Hearing Update
May 24	Building and Standards Hearing Update - Est. Financing Completion/Order Placement target or before
July 26	Windows recieved, Installation commences (9 week lead time per installer)
September 24 - October 24	Expected Window Completion
*Sierra Pacific - window manufacturer lead time is currently at 9 weeks	
**Subject to change depending on THC, HLC, supply chain, Sierra Pacific, finance, contractor	

the owner is to submit additional estimates for needed repairs to the north facing fire rated windows and surrounding elements per report by Dudley/Dunham Engineering dated January 15, 2021, within 30 days;

all repairs to the north facing fire rated windows and surrounding elements, including, but not limited to replacing broken glass, repaint, repair rust on windows and lintels, repair

and/or repoint masonry around windows where damaged, must be completed by November 1, 2021;

- until all repairs have been completed, only the following guest rooms are deemed safe for hotel occupancy as they have fire rated glass windows: #201, #301, #401, #501, #601, and #701; all other guest rooms need to remain unoccupied until windows are replaced per report by Dudley/Dunham Engineering dated January 15, 2021; the hotel shall not rent, sell, or occupy any rooms with damaged or missing wood window sashes;**
- the owner and/or his/her designated contractor is to submit building permit applications, which must include architectural plans, for all window replacements, to the City of Bryan for review and approval prior to commencing work;**
- the owner and/or his/her designated contractor shall request required City inspections for all window replacements, including inspections for final approval and permit close out;**
- the owner shall appear before the Building and Standards Commission at each regularly scheduled meeting, to demonstrate compliance with the time schedule, until the preceding orders have been fulfilled.**

- The owner obtained approval for the proposed replacement windows from the Texas State Historical Commission and also received approval for the proposed replacement windows from City of Bryan Historic Landmark Commission (HLC) on April 14, 2021.
- The owner submitted the attached engineer's report from Beason Brackin and Associates, LLC. on the Friday prior to the April 26, 2021 Building and Standards Commission meeting.
 - The owner and Mr. Beason discussed the report during the April 26, 2021 Building and Standards Commission meeting and asked that "temporary horizontal supports" be allowed to be installed so that all guest rooms could be occupied.
 - During the April 26, 2021 meeting, the Commission accepted staff's recommendations to keep all guest rooms vacant except for those already identified in the previous Commission orders that have only North facing fire rated windows.
 - Since then, the owner has asked to be allowed to make temporary repairs to the guest room windows per the Beason Brackin and Associates, LLC engineer report. See attached email and letter to commission dated April 26, 2021.
 - **City staff have advised the owner that the proposed temporary window repairs or other items installed that affect the exterior appearance has to receive prior approvals from the City's Historic Land Commission.** As of June 14, 2021, the owner has not applied for any such approvals.
 - The owner did provide a letter from the Texas Historical Commission dated May 17, 2021, in which that Commission indicated no objections to the measures so long as they are temporary, and "pending any local review or permitting that is necessary".
- On May 4, 2021, City staff received an email from architect Nathan Winchester saying he was no longer involved in the window repairs for the LaSalle (see attached email dated May 4, 2021). The city has advised the owner that a licensed architect or engineer should oversee all window repairs and replacements due to size of the building. Discussions took place that the licensed design professional could be an architect or engineer with experience equal to that of Beason Brackin and Associates, LLC. The owner stated he was going to check with Beason Brackin and Associates to see if they could be hired for preparing additional plans, specifications, and reports for the window replacement/repair permit issuance and oversee repairs for the North facing windows and all other guest room window repairs and replacements. Previous Commission orders from January, February,

and April 2021 stated that architect plans must be included with permit applications for window repairs/replacement.

- On Monday May 3, 2021 the Chief Building Official received notice about a broken window incident that damaged a car parked below from May 1, 2021. After obtaining and reviewing the police incident report (see attached), **the Chief Building Official learned that the guest rooms that are supposed to be vacant and secured are not completely secured. The Chief Building official also had reason to believe that some of the guest rooms were currently occupied and have been previously occupied during recent events such as the winter storm Uri.** Per the Police incident report, several hotel staff are noted as having addresses of 120 S. Main St, and Felix Hernandez specifically stated that his address was room 210. In addition, room #702 was apparently not kept secured resulting in window damage causing damage to a parked vehicle at the street below.
- On May 7, 2021 the owner sent the attached email and window purchase order receipt showing that the correct windows approved by the HLC have been purchased and ordered.
- On May 8, 2021, the Chief Building Official responded to questions from window contractor – see attached email dated May 8, 2021.
- On May 13, 2021 the Chief Building Official noticed that more wood frames have been removed on the West side of the building, possibly result from additional damage from recent hail storms.
- On May 24, 2021 the owner sent the attached email updating the City on window delivery which is set for the week of July 19, 2021. Second delivery would be expected the week of July 26, 2021.
- On June 1, 2021, the original architect for the 1999 renovations contacted the Chief Building Official and advised that the owner may hire him to produce required plans, specifications, and oversee the repairs and window replacements. See attached emails dated June 1, 2021. The Chief Building Official replied back to the architect on what was needed and the two spoke by phone the following day.
- On June 9, 2021 the Chief Building Official obtained an administrative search warrant to check for occupancy of any rooms that are not allowed to be occupied and to check condition of the windows (see attached recent photos). More wood sashes have been removed. No rooms were found to be occupied other than rooms that are allowed to be occupied. Mr. Hernandez had moved to Room 201, which is one of the rooms that is allowed to be occupied per the Commission's orders. Please refer to attached email dated June 11, 2021.
- **The Chief Building Official believes that the property is currently substantially in compliance with the Commission's order of April 26, 2021 for all items except for the owner not having submitted estimates for repairs to the north facing fire rated windows.** The City still has questions in regards to the estimates for repairs to the existing North facing fire rated windows and surrounding elements (see attached estimates dated April 24, 2021 and Chief Building Official's response/questions to owner dated May 8, 2021). The estimates appear to indicate that repairs to the masonry and lintels will be performed from the interior of the building. The Chief Building Official believes a licensed design professional should prepare plans, estimates, and specifications to clarify how the repairs will be made safely and fully to preserve the historic exterior elements of the structure.
- **The Chief Building Official recommends that the Commission issue a new order so that the repairs can be completed by November 1, 2021, in accordance with the timeline proposed by the owner prior to the commission's April 26, 2021 meeting, and with new requirements for permit issuance.**

PREVIOUSLY SHARED BACKGROUND INFORMATION:

BRAZOS COUNTY APPRAISAL DISTRICT/TAX OFFICE INFORMATION:

PROPERTY ID:	23309
IMPROVEMENT VALUE:	\$1,825,617
YEAR BUILT:	1927
SF OF LIVING AREA:	45,600
CURRENT OWNER SINCE:	2015
PROPERTY TAXES OWED:	\$22,351.60 (2020)

- Built in 1928, the hotel has 55 guest rooms, approximately 45,600 square feet of floor area, seven stories, and a basement. The wood sashed windows on floors 2 through 7 were installed in 1999.
- Interior glass storm windows were installed in guest rooms at the same time for sound control. Some of the interior glass storm windows appear to have been replaced with acrylic glass.
- April 2016 – City staff discussed window replacement and a potential tax credit project with the owner.
- October 2018 – City staff talked with the owner again about replacing the windows.
- November 2018 – Owner shared an estimate for fabrication of custom made wooden sash units for all of the windows. This estimate was for \$277,000 from a shop that specializes in historic preservation millwork.
- April 2019 – Windstorm event – Reportedly, some window sashes had fallen out. It was observed that window sashes were missing leaving only the interior storm window.
- Over the past few years, some of the wood sashed guest room windows have failed due to a lack of maintenance, deterioration due to condensation, or other factors. Some wood window sashes have reportedly fallen out and some have been removed due to safety concerns.
- As of December 2020, approximately 36 exterior windows have had wood sashes removed. All that remains in these 36 window openings are vinyl window frame systems that once held the now removed wood sashes, and the interior storm window systems.
- The Chief Building Official and Fire Marshal inspected the building on October 6, 2020, with an administrative warrant. The purpose of the inspection was to document any issues within the building and the exterior. All floors, roof, exterior and majority of the guest rooms were inspected. See attached email report from City of Bryan Fire Marshal dated October 14, 2020.
- On October 9, 2020, the Fire Marshal notified/instructed the owner to identify and remove any windows that have panes or other materials that could fall from the building.
- The Fire Marshal sent the owner an email with inspection notes from the October 6, 2020 inspection on October 14, 2020. Please see the attached email.
- The owner provided a punch list update on October 14, 2020. Please see the attached email.
- The Fire Marshal, Chief Building Official, owner, and hotel staff met at the property on Monday October 26, 2020, and discussed corridor and stairway lighting and progress on other repairs to date.
- October 26, 2020 – The owner applied for a building permit to start repairs on doors, 1st floor windows, and other areas. Please see the attached permit documents. The building permit and plan review comments were issued on October 29, 2020.
- On January 6, 2021, the owner reported that all 1st floor windows and doors have been repaired. These will be inspected by City and a City contracted Engineer the week of January 11, 2021.

- The owner provided a punch list update on October 29, 2020. Please see the attached email.
- The Chief Building Official emailed the owner with questions on November 11, 2020. The owner replied with list of rooms that not being utilized or occupied by guests, along with answers to other questions. Please see the attached email.
- The Owner provided a punch list update on November 19, 2020. Please see the attached email.
- The Chief Building Official sent the owner an email on November 20, 2020, with additional notes, questions, and notice of property being scheduled for the January 2021 Building and Standards Commission meeting. Please see the attached email.
- The owner and architect responded to the Chief Building Official's November 20, 2020, email on November 25, 2020. Please see the attachments. Work was still progressing and the owner and architect were working on repair plans, estimates, and a timeline for repairs.
- The Chief Building Official spoke with architect on December 4, 2020, and the architect was still inspecting windows.
- On December 9, 2020, the Chief Building Official, Deputy Fire Marshal, City electrical inspector, and City plumbing inspector inspected the bar (5 Knocks) located in the basement of the La Salle Hotel in order to close an expired building permit (dated 2018) that was issued for renovations and to issue a Certificate of Occupancy for that business location.
 - Electrical and plumbing issues were identified with permits needing to be obtained by a licensed electrician and plumber.
 - An email dated December 12, 2020 was sent to owner (attached) regarding items needing to be completed for the bar. An electrical permit and plumbing permits were obtained by licensed contractors.
 - An electrical inspection was called in on December 14, 2020 and approved.
 - A plumbing inspection was called in and approved for the water heater repairs, however, sink repairs are still outstanding as of January 8, 2021. The owner is in the process of hiring a new plumber to complete these repairs.
- City staff emailed the owner all associated Building and Standards Commission letters and staff surveys (Building and Fire) on December 29, 2020. Please see attachments.
- The owner has been responsive and has made repairs to many of the items from the original email report dated October 14, 2020, sent from the Fire Marshal as noted in attached punch list reports and emails.

Outstanding items as of January 8, 2021 are as follows:

- light fixture replacement in interior stairways,
 - final sink repairs in basement bar,
 - exterior windows in guestrooms, and
 - roof mounted water tank.
- December 9, 2020 - The City received a copy of the architect's plans for window guardrails. The owner and architect proposed a temporary guardrail solution to protect openings where only the storm window remained and wood sashes were missing in order to rent these rooms out to guests. On January 7, 2021, the Owner relayed that they no longer wanted to explore this option and instead keep these rooms unoccupied to focus on window replacement. The City had advised that the guardrails would change the exterior appearance and required Bryan Historic Landmark Commission (HLC) approval prior to installation.
 - December 14, 2020 - The Chief Building Official finished code review on exterior window safety. After discussing with an architect, local engineers, International Code Council (IBC), and other code consultants, it was determined that the City needed to consult with a structural engineer to complete inspections and evaluations of the windows and other conditions.

- On January 7, 2021, the Chief Building Official met with owner and architect via phone and discussed the remaining items and the submitted estimates and timeline provided by the owner. Please see attachments. The owner relayed that they only had a verbal confirmation from an engineer who recommended that the roof top water tank be removed. The Chief Building Official spoke with a contractor regarding the water tank removal on the same day. The remaining issues with the water tank removal and replacement of guest room windows is pending Texas State Historical Commission and local Bryan Historical Landmark Commission approval. The Chief Building Official advised the owner that City staff will be contracting with a structural engineer to evaluate the roof top water tank, exterior windows, sidewalk glass block elements, and immediate areas around the windows on January 7, 2021. Please see attached email dated January 8, 2021, sent to the owner regarding City contracting with an engineer to complete these inspections.
- On January 12, 2021, Dudley/Dunham Engineering was hired by the City and inspected the windows and roof top water tank and provided the attached report on January 15, 2021. The Chief Building Official obtained an administrative warrant for the inspections performed by the engineering firm.
- For the first meeting in January: The owner had submitted proposed estimates of \$131,100.00 for window replacement and a timeline to complete repairs by the end of July 2021 (6 months). The City received the attached engineer's report dated January 15, 2021 from Dudley / Dunham Engineering. The engineers report recommends repairs and states that only six rooms with windows on north elevation are safe to occupy. Per the engineer's report, the owner needs to include estimates for repairs (rust repairs/repainting windows, replacing broken glass, and repairing rust/repainting lintels) to the existing fire rated metal clad windows on the North elevation. The engineer's report also offers a repair to the water tank supporting structure for the water tank to remain. Masonry (re-pointing) repairs are needed around the North facing windows.

ATTACHMENTS:

1. staff recommendation
2. pictures
3. dangerous structures survey reports
4. Timeline and estimates submitted by owner.
5. October 14, 2020 email to owner with inspection notes from Fire Marshal
6. October 14, 2020 punch list update from owner
7. October 29, 2020 punch list update from owner.
8. October 29, 2020 building permit application and plan review for first floor window, door repairs, etc.
9. November 11, 2020 email to owner.
10. November 18 email to Architect.
11. November 19, 2020 punch list update from owner.
12. November 20, 2020 email to Owner.
13. November 24, 2020 architect's response to November 20, 2020 email.
14. December 3, 2020 email to architect.
15. December 12, 2020 email to architect with code review notes to date.
16. December 29, 2020 email to owner with associated Building and Standard Commission letters to date.
17. December 9, 2020 Architect's plans for window guardrails.
18. January 8, 2021 email to owner.
19. January 15, 2021 Dudley/Dunham Engineer's window and tank assessment.
20. February 4, 2021 email from Architect about the water tank
21. February 4, 2021 email from hotel manager on room blocks
22. February 8, 2021 owner revised timeline

23. February 12, 2021 email to owner about timeline, outstanding items
24. April 1, 2021 emails between Owner and Chief Building Official.
25. April 16, 2021 letter to Commission from Owner.
26. April 16, 2021 updated timeline from owner.
27. April 24, 2021 North Facing Fire Rated window repair estimates
28. April 26, 2021 owners letter to commission
29. April 26, 2021 owner's email and Brackin Bason engineer's report for temporary repairs
30. May 1, 2021 Bryan Police Incident reports
31. May 7, 2021 owner's email with window order receipt
32. May 8, 2021 Chief Building Official email to owner
33. May 8, 2021 Chief Building Official email to window contractor
34. May 24, 2021 owner's email about window delivery
35. June 1 emails between new architect and Chief Building Official
36. June 11, 2021 emails between owner and Chief Building Official

**BUILDING AND STANDARDS COMMISSION
STAFF RECOMMENDATION**



June 21, 2021

Case #: 2406

Building Address: 120 South Main Street

Record Owner(s): LH3 Hospitality LLC

The City's Chief Building Official has requested this Commission hearing to discuss the building on this property, and all legal notices of the hearing were provided to record owners, lienholders, and mortgagees. They were also notified that if they wanted to repair they needed to meet with City staff and come to the hearing with a detailed plan for repairs, including cost estimates. Based on the surveys, reports, photographs, and other evidence provided to the Commission, the City recommends that the Commission find the building unsafe based on the standards set forth in Bryan Code of Ordinances Section 14-224 subsection(s):

- 1) The building, structure, or any part thereof is likely to partially or fully collapse.
- 2) The structure or any part thereof was constructed or maintained in violation of any provision of the City's Building Code, or any other applicable ordinance or law of the city, county, state or federal government.
- 3) One or more walls or other vertical structural members list, lean, or buckle to such an extent that a plumb line passing through the center of gravity falls outside of the middle third or its base.
- 4) The foundation or the vertical or horizontal supporting members are twenty five percent (25%) or more damaged or deteriorated.
- 5) The non supporting coverings of walls, ceilings, roofs, or floors are fifty percent (50%) or more damaged or deteriorated.
- 6) The structure has improperly distributed loads upon the structural members, or they have insufficient strength to be reasonably safe for the purpose used.
- 7) The structure or any part thereof has been damaged by fire, water, earthquake, wind, vandalism, or other cause to such an extent that it has become dangerous to the public health, safety and welfare.
- 8) The structure or any part thereof has inadequate means of egress as required by the City's Building Code.
- 9) The structure does not have adequate light ventilation, or sanitation facilities as required by the City's Building Codes and Plumbing Code.

The City further recommends that the Commission make a finding and issue an order that:

- the building may feasibly be repaired so that it is no longer in violation of City ordinances and must be repaired November 1, 2021, in accordance with the owner-provided time schedule, as follows:**

LASALLE HOTEL BUILDINGS AND STANDARDS MEETING FEBRUARY PROGRESS UPDATE/TIMELINE	
Date	Item
FEB - MAR PROGRESS	COMPLETED plumbing repairs
	COMPLETED stairwell lighting
	COMPLETED Water Tank repair
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July 26	Windows recieved, Installation commences (9 week lead time per installer)
September 24 - October 24	Expected Window Completion
*Sierra Pacific - window manufacturer lead time is currently at 9 weeks	
**Subject to change depending on THC, HLC, supply chain, Sierra Pacific, finance, contractor	

- the owner is to submit additional estimates, engineer or architect specifications/plans for needed repairs to the North facing fire rated windows and surrounding elements per report by Dudley/Dunham Engineering dated January 15, 2021, within 30 days;**
- all repairs to the North facing fire rated windows and surrounding elements, including, but not limited to replacing broken glass, repaint, repair rust on windows, repair or replace rusty lintels, repair and/or repoint masonry around windows where damaged, must be completed by November 1, 2021;**
- until all repairs have been completed, only the following guest rooms are deemed safe for hotel occupancy as the have fire rated glass windows: #201, #301, #401, #501, #601, and #701; all other guest rooms need to remain unoccupied until windows are replaced per report by Dudley/Dunham Engineering dated January 15, 2021; the hotel shall not rent, sell, or occupy any rooms with damaged or missing wood window sashes;**
- the owner and/or his/her designated contractor is to submit building permit applications, which must include architectural or engineer specifications/plans, asbestos survey, for all window replacements, to the City of Bryan for review and approval prior to commencing work;**
- the owner and/or his/her designated contractor shall request required City inspections for all window replacements, including city inspections and final reports from the architect/engineer of record stating that all required repairs / replacements are completed and are in compliance with architect or engineers approved specifications/plans for final city approval and permit close out;**
- the owner shall appear before the Building and Standards Commission at each regularly scheduled meeting, to demonstrate compliance with the time schedule, until the preceding orders have been fulfilled.**

The City further recommends that the Commission order that:

In the event that an owner, mortgagee, or lienholder fails to comply with an order to repair, the City may bring the property back before the Commission for further orders, including but not limited to demolition of the building and in addition to the foregoing, the City may also issue a citation under Bryan Code of Ordinances Section 14-219 for failing to comply with the order.

RECENT PICTURES:



More wood window sashes have been removed on West side



More wood sashes removed on East Side



More wood sashes removed on South side

PREVIOUSLY SHARED PICTURES:



South façade.



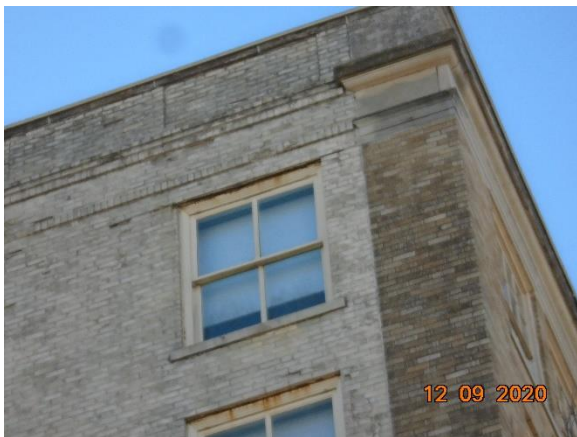
East Façade.



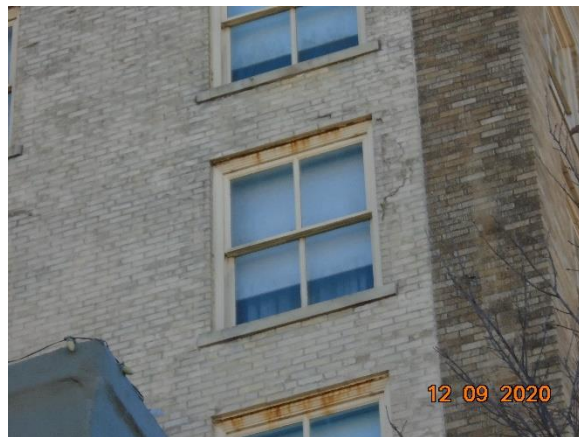
West Façade.



Roof mounted water tank, not in use, has rust.



Fire rated steel windows on North façade.



Steel lintels are rusting and possibly causing masonry damage.



Interior view of interior storm window system and Wood sash with moisture damage



Window opening missing wood sashes and with only interior storm window



Exterior wood sill water damage/deterioration



Interior wood window sill water damage



Another view of exterior window sill rot



Window missing lower wood sash



Interior guest room window



Interior guest room window with damage



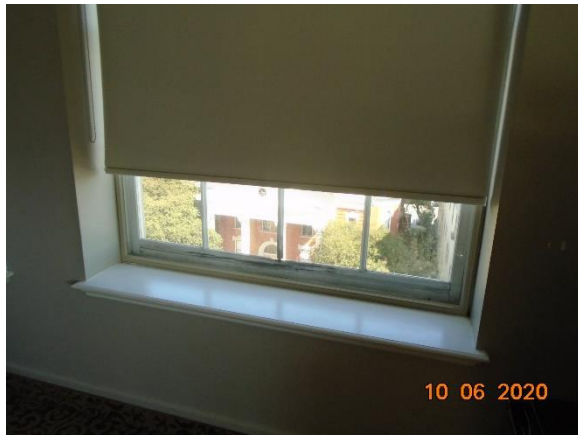
Rotten/damaged sash



Window mullions loose



Rot in lower window sash



View from inside guest room, rotten window sash



Interior – rotten window sash



Interior – sash and sill damage



First floor wood store front windows and transoms. Rotten wood that has since been repaired/replaced.



Rusty exterior door that has since been replaced. Loose gas line that has since been secured.



CITY OF BRYAN
The Good Life, Texas Style

Dangerous Structures Survey Report

Fire Marshal

Case # _____

A. PROPERTY ADDRESS: 120 S. Main (City of Bryan Townsite, Block 256, Lot 1 (40' of) & 11' of W 27th ST, "LASALLE HOTEL" & ASSOCIATED BBP

B. SPECIFICATIONS: No. Rooms app 50 No. Stories 7 No. Structures 1

STRUCTURAL USE

CONSTRUCTION

OCCUPANCY

- Residential/Single Family
- Mixed Use
- Commercial
- Residential/Multi Family
- Accessory Structure

- Box
- Frame
- Masonry
- Mobile Home

- Occupied
- Vacant
- Open

C. FINDINGS

01. The structure or a part thereof has been damaged by fire, water, earthquake, wind, vandalism, or other cause to such an extent that it has become dangerous to the public health, safety, and welfare.
 I estimate that all windows will need some level of repair/replacement to maintain the property in a safe condition.

02. The structure or a part thereof has deteriorated to such an extent that it has become dangerous to the public health, safety, and welfare.
 Main Structure? Accessory Structure?

03. The structure or a part thereof does not have adequate means of egress as required by the City's building code, and poses a danger in case of fire or panic.
 Main Structure? Accessory Structure?

04. The structure or a part thereof lacks necessary fire-resistive construction, and the threat of a fire in the structure poses a risk to inhabitants, neighboring structures, and fire department personnel.
 Main Structure? Accessory Structure?

05. Obsolete, damaged, or deteriorated electric wiring, gas connections, heating apparatus, or other mechanical infrastructure present a risk of fire.
 Main Structure? Accessory Structure?

06. The proximity of the structure or a part thereof to other structures on this or neighboring properties constitutes a fire hazard for the other structures.
 Main Structure? Accessory Structure?

07. The structure or a part thereof is in violation of the City's fire code.
 Main Structure? Accessory Structure?

- _____ 08. The building, structure, or a part thereof is being used by criminals, vagrants, or squatters for the purpose of suspected illegal activity.
Main Structure? _____ Accessory Structure? _____
- _____ 09. The building, structure, or a part thereof presents an attractive nuisance to children.
Main Structure? _____ Accessory Structure? _____

COMMENTS Greg Cox, Randy Haynes, and I inspected the building on 10/6/2020. The reason for the inspection was many windows were missing from the side of the building and we wanted to make sure there was adequate weather and fall protection for the interior of the building. Mr. Patel was not onsite but was called shortly after the inspection of the property to relay the items that needed immediate attention (see attached email that was sent). The main problem with the building were the missing exterior windows and several of the existing windows still in place had the potential for the glass or the wood frames to fall to the ground. After the phone conversation about the potential hazard, Mr. Patel contacted a crew to remove all windows that were a hazard by the end of that week. An email was sent to Mr. Patel on 10/14/2020 with the list of items that needed to be corrected on the property after he had corrected the fall hazard from the windows. He responded on 10/14/2020 that all windows that were a safety hazard had been removed. Mr. Patel sent another email updating us on 10/20/2020 on waiting on quotes for other items included in the inspection list. On 10/22/2020 he requested that we meet with him to discuss in more detail some of the items. On the same date, we set up a meeting for the 26th to discuss the items and he was sent a building permit application. We met with him to discuss his concerns and he returned the building application through email. He sent an update on the list 10/29/2020 which included measurements of the windows and architect discussion on the plan to move forward with window replacement. On 11/2/2020 he sent an update on the repair of the gas line mounts which were on the list. On 11/10/2020 he sent an update that work had begun on the bottom floor window frames to replace rotten wood and that the architect was preparing a report for the state historical commission to approve the window replacement. On 11/11/2020 we wanted to verify that the rooms where there was no window were not being used for occupancy in the building. He sent back the next day the rooms that were offline and a room list which totaled 22 rooms. When addressing the timeline for the installation of windows, he said he was personally ready but needed more communication on the windows requirements. The architect reached out to the city planner to discuss options on the windows on 11/13/2020.



CITY OF BRYAN
The Good Life, Bryan Style.

Dangerous Structures Survey Report

Chief Building Official

Case # _____

A. PROPERTY ADDRESS: 120 S. Main (City of Bryan Townsite, Block 256, Lot 1 (40' of) & 11' of W 27th ST, "LASALLE HOTEL" & ASSOCIATED BBP

B. SPECIFICATIONS: No. Rooms 114+ No. Stories 7 No. Structures 1
55 guest rooms

STRUCTURAL USE

Residential/Single Family
 Mixed Use
 Commercial
 Residential/Multi Family
 Accessory Structure(s)

CONSTRUCTION

Box
 Frame
 Masonry/concrete
 Mobile Home

OCCUPANCY

Occupied
 Vacant
 Open

C. FINDINGS

01. The structure or a part thereof was constructed or maintained in violation of a provision of the City's building code, other applicable ordinance, state law, or federal law. Specifically, the following:

2015 IBC – 2014 NEC Windows and stair way lights/emergency lights
 Main structure?

02. Any wall or other vertical structural members list, lean, or buckle to an extent that a plumbline passing through the center of gravity falls outside of the middle third of its base. Main structure?

03. The foundation or the vertical or horizontal supporting members are materially damaged or deteriorated. Main structure? Accessory structure?

04. The non-supporting coverings of walls, ceilings, roofs, or floors are materially damaged or deteriorated. Main structure? (window sills)

05. The structure has improperly distributed loads upon the structural members, or they have insufficient strength to be reasonably safe for the purpose used.
 Main structure? (possibly wood supports under water tank on roof)

06. The structure or any part thereof has inadequate means of egress as required by the city's building code. Main structure?

07. The structure is unsanitary, unfit for human habitation, or likely to cause sickness due to damage, deterioration, or inadequate design/construction. Specifically the structure does not meet the city's requirements for:
 light
 ventilation

- sanitation facilities
Main structure?
08. Injury to persons or damage to property will result because portion, member or appurtenance is likely to fall, become detached or dislodged, or collapse.
Main structure? (windows – possibly water tank on roof)
09. Unable to give reasonable protection to any occupants from weather elements or danger of collapse because of:
 Holes or cracks in the floor, exterior wall or roof
 Loose, rotten, warped or protruding boards
Main structure? Accessory
10. Is manifestly unsafe for the purpose for which it is being used or so as not to give reasonable protection from danger of collapse or fire because of:
 Defective materials
 Structural deterioration
 Interior walls or ceilings with holes, cracks or loose plaster
Main structure? Accessory structure?
11. The building, structure, or a part thereof, is unsecured and open.
Main structure? Accessory structure?

COMMENTS: Structure is a seven story hotel structure with a basement. There are approx. 55 guest rooms. The city has received complaints about condition of the wood windows. The Chief Building Official and Fire Marshal inspected the structure on October 6, 2020. The main concern is structure has wood framed windows that have deteriorated and / or loosened/deteriorated in the window frame to the point of potential falling out. In some cases some wood sashes have reportedly fallen out storm events. Many of the interior wood window sills are rotten or damaged. Since October 6, 2020 the owner has removed all loose window sashed since October 2020 and XXX rooms are without window sashes. All guest rooms have an interior glass or plastic panel in a slim frame that appears to be site built and not a from a certified window manufacturer. The city is concerned about fall potential from guest rooms with the low window sills (below 42" guardrail height) and with potential of more windows sashes deteriorating to the point of falling out onto public street/sidewalks below. The owner was provided with a list of deficiencies and items needing repairs on October 14, 2020 (see attachment). The City received the following update on items completed from that list on "Inspection Punch List 111020" (see attachment). The owner has made majority of corrections to issues found and had a contractor apply for a repair permit to replace exterior doors and start repairs to first floor wood store front windows on October 29, 2020. Repairs were observed to be under way on November 11, 2020, however it was discovered that the permit was not obtained prior to starting those

repairs. Stairway lighting has not been replaced as of November 17, 2020. Some emergency lighting has been replaced by maintenance staff but not by a licensed electrician/electrical contractor as required per city ordinance. There is a large metal water tank no longer in use on the roof placed on a wooden deck supported by steel I-beams. The wooden support deck under water tank has signs of deterioration. The water tank has rust holes and deterioration and tank does not appear to be anchored and is no longer in use. If the water tank is to remain, a structural engineer should evaluate the water tank structure and supporting structure to insure safety. A building permit was obtained in 2018 (Permit #18-2603) to finish out a bar in the basement, a building final was never called in for Certificate of Occupancy approval. The #18-2603 permit has since expired.

FLOOR PLAN (See attachments)

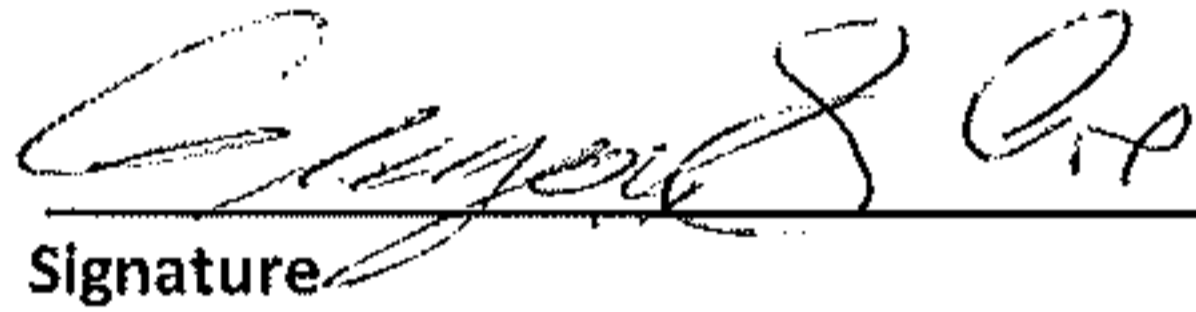
D. DETERMINATION

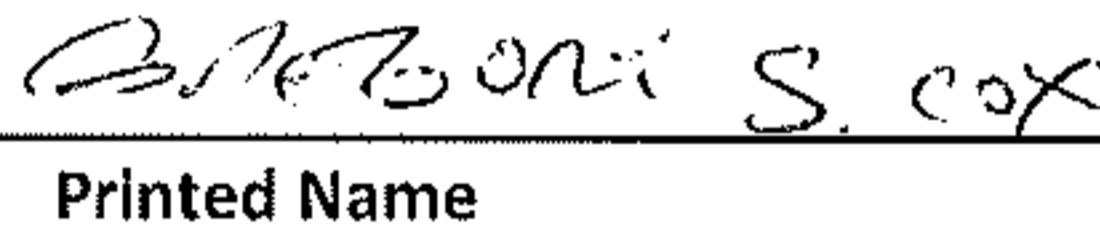
1. It has been determined upon inspection and investigation that the structure is dangerous, unsafe, or a hazard to public health and must be secured and:

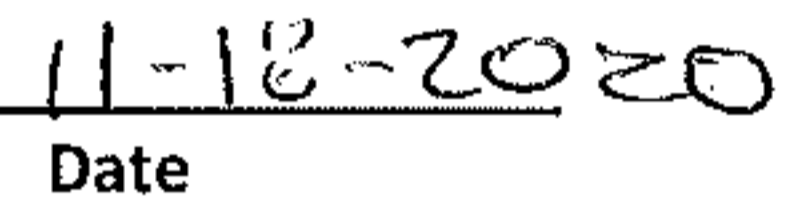
A. Be vacated (affected guest rooms); OR remain unoccupied (affected guest rooms); and

B. Be repaired

2. It has been determined upon inspection and investigation that the structure is not dangerous, unsafe, or a hazard to public health as defined by the City's Code of Ordinances.


Signature


Printed Name


Date

Cox, Gregory

From: Janak Patel <jmpatel99@gmail.com>
Sent: Thursday, November 12, 2020 12:00 PM
To: Cox, Gregory
Cc: McFeron, Marc W
Subject: Re: Inspection of La Salle 10-6-2020

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Hi Greg,

Those rooms are offline until we can find an approved solution. That comes out to 22 rooms as some have multiple windows. They include rooms 204, 206, 304, 402, 202, 504, 505, 507, 509, 604*, 605, 606*, 607, 608, 609*, 702*, 704, 705, 706*. 707, 708, 709*.

*2 windows missing

*3 windows missing

2. I have put in a call and will follow up when I learn more as far as a timeline. Last I checked they left messages for Randy and were waiting on a call back. Personally, I am ready to do this as soon as possible but I am at the mercy of the many stakeholders this particular project requires, their pre-existing case load, communication lag, and other variables(window installer was recently hospitalized last week in a biking accident).

3. We are on the same page on this and you will be getting a permit application from us probably today or tomm.

Thanks and feel free to call me if you have any questions at 816-309-9678.

On Wed, Nov 11, 2020 at 3:19 PM Cox, Gregory <gcox@bryantx.gov> wrote:

Thank you again Mr. Patel for getting these items done, in process, and sending the update.

I have a few questions:

1. Mark mentioned before in attached email that we needed evaluation for fall protection in the rooms that have had window sashes removed (see attached email). I believe it was communicated that these rooms are remaining unoccupied? If so can you verify that they are remaining unoccupied? Do you have a list of affected rooms you can share? I count about 29 windows where sashes have been removed. If they need to be occupied an Architect would need to evaluate these interior windows and come up with a plan for guard rail protection. The window sills are below the 42" guardrail height, and with the interior glass not being a certified window unit the concern for safety is high.

2. I spoke with Brian at Winchester Architects who confirmed they are working on the proposal for window replacement. I failed to get a time line on when he would have that ready. Do you have a timeline of when they will have the proposal in for state and city, and then a timeline / estimate for window replacement?
3. On stair way light fixture replacement, city ordinance does require an electrical permit and licensed electrical contractor for this – we spoke about this at last site visit. The guys there at the time were not licensed to replace the stair lighting. Just friendly reminder to have qualified electrical contractor obtain the electrical permit with licensed electricians doing the change outs.

Please let me know if any questions.

Greg

From: Janak Patel <jmpatel99@gmail.com>
Sent: Tuesday, November 10, 2020 2:58 PM
To: Cox, Gregory <gcox@bryantx.gov>; McFeron, Marc W <mmcferon@bryantx.gov>
Subject: Re: Inspection of La Salle 10-6-2020

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Greg,

Thanks for your email.

- As of this past Saturday, work has already began on repairing rotten wood on bottom floor window frames.

- Winchester architects has made several site visits in the last 2 weeks and is preparing a report of their findings for upstairs windows to submit to State of Texas Historical Commission.

I have attached an updated Inspection Punch List. I will continue to update you on our weekly progress.

Thanks,

On Tue, Nov 10, 2020 at 11:36 AM Cox, Gregory <gcox@bryantx.gov> wrote:

Good morning Mr. Patel,

Any updates on the lower window repairs, and upper window repair/replacements?

Thanks,

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From: Janak Patel <jmpatel99@gmail.com>

Sent: Thursday, October 29, 2020 1:20 PM

To: Cox, Gregory <gcox@bryantx.gov>; McFeron, Marc W <mmcferon@bryantx.gov>; Haynes, Randall <rhaynes@bryantx.gov>

Cc: Lisa Gordon <Manager@lasalle-hotel.com>; sam.barqueta1 <sam.barqueta1@gmail.com>; LaSalle Hotel <contact@lasalle-hotel.com>

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Greg/Marc/Randy,

Please see attached updated Inspection Punch List as of 10/29.

Greg - Also wanted to confirm you received our permit form on 10/26.

Please let me know if you have any questions. Thanks.

On Mon, Oct 26, 2020 at 1:36 PM Janak Patel <jmpatel99@gmail.com> wrote:

Gentlemen,

Thanks for taking the time today to answer our questions.

I have attached a permit request. Please let me know if you have any questions. Thanks.

On Mon, Oct 26, 2020 at 8:54 AM Cox, Gregory <gcox@bryantx.gov> wrote:

Thanks, we will see you today at 11am

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Greg/Randy,

Yes thank you. 11am will work on Monday.

I just got off the phone with our Architect and we would like to apply for a permit to replace the window wood trim that has gone bad on some of the bottom floor windows as early as this weekend if permissible. This work will be performed by our Architect directly.

No windows will be replaced or moved nor will anything be modified aesthetically, including paint colors. This is mostly to replace bad wood with good wood.

If you would still like me to apply for a permit(or request historical approval) please direct me to the appropriate application and/or contact and I will be happy to do so. Thank you.

On Thu, Oct 22, 2020 at 10:26 AM McFeron, Marc W <mmcferon@bryantx.gov> wrote:

It will work for me Greg

Thank you,

Marc

From: Cox, Gregory <gcox@bryantx.gov>

Sent: Thursday, October 22, 2020 10:23 AM

To: 'Janak Patel' <jmpatel99@gmail.com>; McFeron, Marc W <mmcferon@bryantx.gov>

Cc: Haynes, Randall <rhaynes@bryantx.gov>; Lisa Gordon <Manager@lasalle-hotel.com>
Subject: RE: Inspection of La Salle 10-6-2020

Good morning Mr. Patel,

Would Monday October 26 at 11am at Hotel work for everyone?

In addition to building permits for door and window replacements, window replacement and any other exterior changes would need HLC review and approval.

Thanks,

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Hi Greg,

If possible, my manager, Sylvia Morrison and I would like to schedule a phone call or meeting with you at the hotel. We would like to go over some possible solutions to overcome some of the hurdles we and vendors are facing in regards to:

- the stairwell emergency lighting

- bottom floor window trim replacement (and doors)
- vendor would like to schedule the replacement of a room window to get better idea of project scope and narrow down appropriate options
- use of bucket truck to tighten mounting brackets on gas line

Mainly, we would like your input so that we are within the bounds of the permit requirements before we start.

Thanks,

On Tue, Oct 20, 2020 at 10:16 AM McFeron, Marc W <mmcferon@bryantx.gov> wrote:

Thank you Jay

Marc

On Oct 20, 2020, at 9:56 AM, Janak Patel <jmpatel99@gmail.com> wrote:

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Hi Marc,

I am awaiting a couple of schedule/quote commitments to come thru soon from vendors. After I receive them, I should have an update within a day or two. Thanks.

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Marc/Greg/Randy,

I have received your email. I will send an update later today of items that have been completed already as well as pending. Thank you.

Janak

On Wed, Oct 14, 2020 at 10:25 AM McFeron, Marc W <mmcferon@bryantx.gov> wrote:

Mr. Patel,

Greg Cox, Randy Haynes, and I inspected the La Salle Hotel 120 S Main on 10-6-2020. We found multiple items that are a concern and this list was developed to address them with you. Many of these items will need immediate attention and some will be able to be set on a schedule. Since the inspection through communication over the phone the day of the inspection, you have moved the Knox Box and removed several windows that were in severe condition. Any red highlighted items need immediate attention and may prevent occupancy. Any yellow highlighted items will need to be addressed within 2

weeks (10-28-2020) and other items will need further evaluation. In rooms that have had windows removed and glass or Plexiglas added, we need an evaluation of fall protection before occupants are allowed in these rooms. Any work done on the property will need appropriate permits/approvals before work is performed.

Exterior:

1. [REDACTED] - This needs to be corrected with the box that is at the office remounted to the main door on the exterior of the hotel.
2. West exit door- is rusting with sharp edges in areas where the metal is completely rusted through. This door is a required exit door and needs replacement.
3. [REDACTED]- mounting brackets on west end are loose and need to be remounted to support the gas line.
4. East entrance door- is not aligned correctly and needs to be repaired to prevent water from entering.
5. Roof access hatch- is broken and need to be repaired or replaced.
6. Doors on the roof structure- need to be replaced.
7. [REDACTED]- appear to be in various stages of decay including the first floor store front windows and need to be repaired or replaced. Some of them have panes that need to be removed and are a safety hazard. [REDACTED]
[REDACTED]. A licensed design professional (architect) will be required to evaluate the condition and replacement of the windows. You will need prior approval before replacement from the building department and the Bryan Historic Landmark Commission.
8. Steel lintels- above the windows are rusting and need to be sanded, primed, and painted.
9. Water tank- on the roof is rusted through in several areas and the wood supports under the tank are rotting. This needs to be evaluated for stability, repaired, or removed. If the tank is kept it will need a licensed design professional (engineer) to sign off on the repair with approval of the building department and possibly from the Bryan Historic Landmark Commission.

Interior:

1. All the emergency lighting- in the hallways are having trouble and should be replaced with more reliable LED packs.
2. Stairway lighting- has some problems with the fluorescent lighting such as missing covers, partially working bulbs, non-working emergency lighting. Recommend installing more reliable lighting.
3. [REDACTED] There is storage located in multiple areas of the stairway especially on the first floor where flammable liquids and gas bottles are stored in the exit corridor to both protected stairways.

4. Fire alarm panel- missing installation and inspection tags. Need to reprogram the panel so that room smokes do not set off a general alarm. I have spoken with the alarm company and will follow up with them on this item.
5. Wood is rotting at many of the windows in the rooms due to the condition of the exterior windows. If the windows don't get repaired this damage will continue to occur and possibly cause greater structural damage.
6. Storage in boiler room- is very disorganized with limited access. A walkway should be maintained in this room.
7. [REDACTED] - This door is locked and a second exit is required from this space. This door needs to have panic hardware attached.

On 10-12-2020 I contacted Mr. Batson about the exit in 5 Knocks and the storage in the corridor on the first floor. He said he would get these items corrected. I will follow up on these items with Mr. Batson on 10-16-2020.

Please contact us if you have any questions.

Thank you,

Marc McFeron

Fire Marshal

Bryan Fire Department

414 Lawrence St

Bryan, TX 77801

979-209-5960

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Janak Patel

816-309-9678

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		Status 10/29/20
Exterior	Items	
	No Knox Box at the entry	COMPLETED 10/7
	Replace West Exit Door	COMPLETED 11/9
	Re-Mount Brackets on Gas Line	COMPLETED 11/2
	Re-Align East Entrance Door	COMPLETED - FIXED BY PRO-DESIGN ON 10/27
	Repair Roof Access Hatch	COMPLETED 11/9 (hydraulics adding new chain 11/10)
	Replace Doors on Roof Structure	COMPLETED 11/9
	Repair or Replace All Windows That are a Safety Hazard	WINCHESTER ARCHITECT IS IN PROCESS SUBMITTING REPORT FOR STATE HISTORICAL APPROVAL, IS ALSO IN COMMUNICATION WITH RANDY
	Sand, Prime, and Paint All Steel Lintels on Windows	pending completion red and yellow items
	Repair or Remove Water Tank/Check for Stability	pending completion red and yellow items
Interior	Items	
	Replace Emergency Lighting with LED Packs	ROOM HALLWAYS COMPLETED 10/20 + 10/21, ELECTRICIAN COMING 10/22 FOR LOBBY INSTALL
	Repair or Replace Stairway Lighting	order placed waiting on product
	Remove Flammable Liquids/Gas Bottles in Exit Corridor	COMPLETED 10/14
	Missing Tags on Fire Alarm Panel/Re-Program Panel	COMPLETED - IMPACT REPROGRAMMED PANEL 10/20
	Repair Rotted Wood on the Windows	BEGAN WORK ON 9/7 - CURRENTLY IN WOODSHOP
	Organize Storage in Boiler Room/Maintenance Room	COMPLETED 10/14
	Panic Hardware to be Installed on 5 Knocks Exit Door	COMPLETED 10/13

Cox, Gregory

From: Janak Patel <jmpatel99@gmail.com>
Sent: Tuesday, November 10, 2020 2:58 PM
To: Cox, Gregory; McFeron, Marc W
Subject: Re: Inspection of La Salle 10-6-2020
Attachments: We sent you safe versions of your files; Inspection Punch List - 111020.pdf

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Bryan Fire Department

414 Lawrence St

Bryan, TX 77801

979-209-5960

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Subject: Inspection of La Salle 10-6-2020

Mr. Patel,

Greg Cox, Randy Haynes, and I inspected the La Salle Hotel 120 S Main on 10-6-2020. We found multiple items that are a concern and this list was developed to address them with you. Many of these items will need immediate attention and some will be able to be set on a schedule. Since the inspection through communication over the phone the day of the inspection, you have moved the Knox Box and removed several windows that were in severe condition. Any red highlighted items need immediate attention and may prevent occupancy. Any yellow highlighted items will need to be addressed within 2 weeks (10-28-2020) and other items will need further evaluation. In rooms that have had windows removed and glass or Plexiglas added, we need an evaluation of fall protection before occupants are allowed in these rooms. Any work done on the property will need appropriate permits/approvals before work is performed.

Exterior:

1. [REDACTED] - This needs to be corrected with the box that is at the office remounted to the main door on the exterior of the hotel.
2. West exit door- is rusting with sharp edges in areas where the metal is completely rusted through. This door is a required exit door and needs replacement.
3. [REDACTED] - mounting brackets on west end are loose and need to be remounted to support the gas line.
4. East entrance door- is not aligned correctly and needs to be repaired to prevent water from entering.
5. Roof access hatch- is broken and need to be repaired or replaced.
6. Doors on the roof structure- need to be replaced.
7. [REDACTED] - appear to be in various stages of decay including the first floor store front windows and need to be repaired or replaced. Some of them have panes that need to be removed and are a safety hazard. [REDACTED]. A licensed design professional (architect) will be required to evaluate the condition and replacement of the windows. You will need prior approval before replacement from the building department and the Bryan Historic Landmark Commission.
8. Steel lintels- above the windows are rusting and need to be sanded, primed, and painted.
9. Water tank- on the roof is rusted through in several areas and the wood supports under the tank are rotting. This needs to be evaluated for stability, repaired, or removed. If the tank is kept it will need a licensed design professional (engineer) to sign off on the repair with approval of the building department and possibly from the Bryan Historic Landmark Commission.

Interior:

1. All the emergency lighting- in the hallways are having trouble and should be replaced with more reliable LED packs.
2. Stairway lighting- has some problems with the fluorescent lighting such as missing covers, partially working bulbs, non-working emergency lighting. Recommend installing more reliable lighting.
3. [REDACTED] There is storage located in multiple areas of the stairway especially on the first floor where flammable liquids and gas bottles are stored in the exit corridor to both protected stairways.

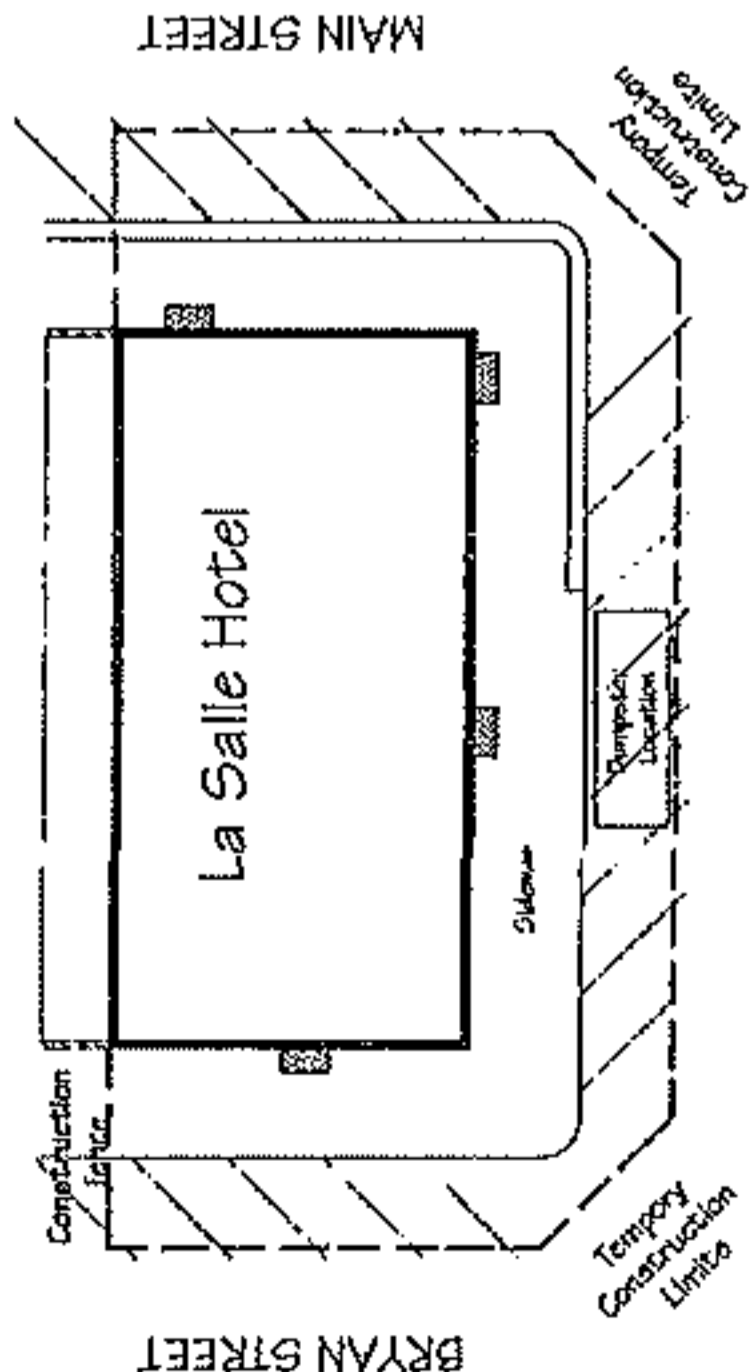
4. Fire alarm panel- missing installation and inspection tags. Need to reprogram the panel so that room smokes do not set off a general alarm. I have spoken with the alarm company and will follow up with them on this item.
5. Wood is rotting at many of the windows in the rooms due to the condition of the exterior windows. If the windows don't get repaired this damage will continue to occur and possibly cause greater structural damage.
6. Storage in boiler room- is very disorganized with limited access. A walkway should be maintained in this room.
7. [REDACTED] - This door is locked and a second exit is required from this space. This door needs to have panic hardware attached.

On 10-12-2020 I contacted Mr. Batson about the exit in 5 Knocks and the storage in the corridor on the first floor. He said he would get these items corrected. I will follow up on these items with Mr. Batson on 10-16-2020.

Please contact us if you have any questions.

Thank you,

Marc McFeron
Fire Marshal
Bryan Fire Department
414 Lawrence St
Bryan, TX 77801
979-209-5960



4 Construction Fence

Scale: not to scale

Notes
 Provide warning signs per code.
 All barriers and warning devices per applicable code.
 Contact Job's Assistant at City of Bryan Division of Transportation to coordinate fence installation. (409) 300-5000.
 1' inside fence 1' inside outer limit of parking space.
 Repair any damage to street or sidewalk caused by fence installation.

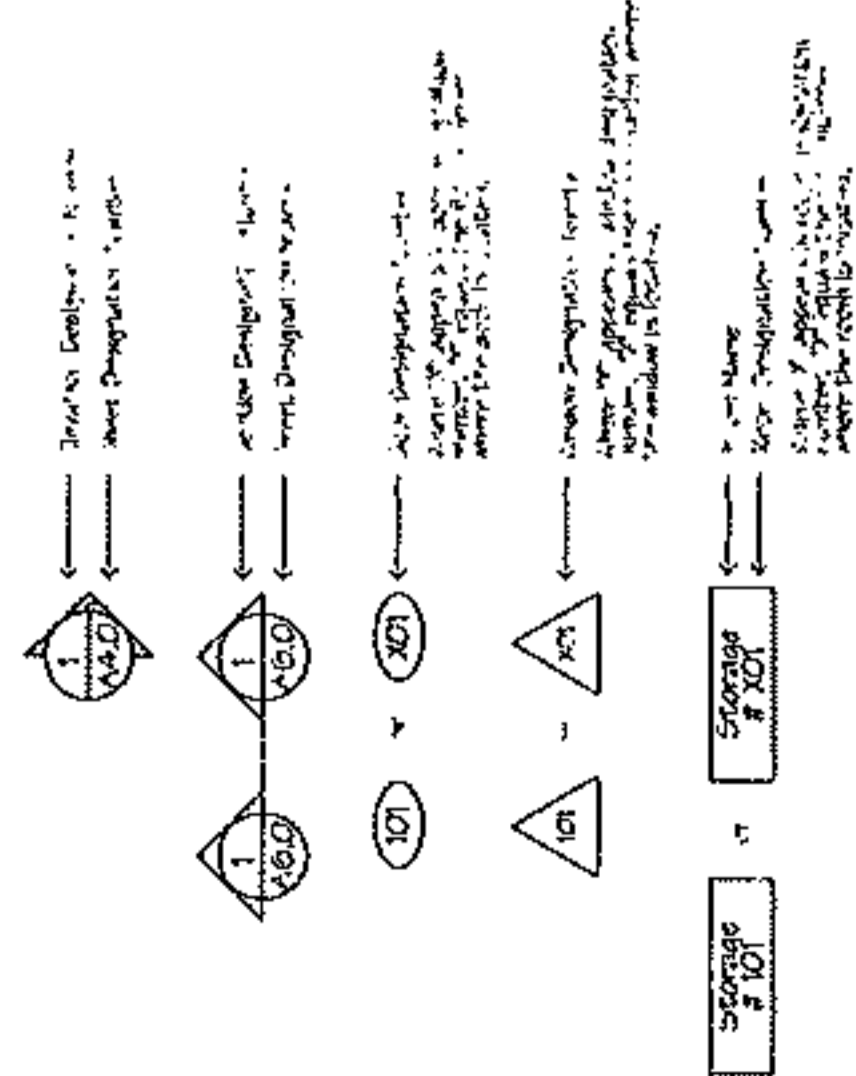
Parking will be provided by the City of Bryan and is not part of this project

BUILDING SPECIFICATIONS

Standard Building Code (SBC) R
 Fully Sprinklered
 OCCUPANCY: R
 FIRE PROTECTION:
 SQUARE FOOTAGE (Gross):
 Basement: -4630 s.f.
 First Floor: -4630 s.f.
 Second Floor: -4630 s.f.
 Third thru Seventh Floors: (5x)4403 s.f.
 Total (Gross): 35,900 s.f.

3 Vicinity Map

Scale: not to scale

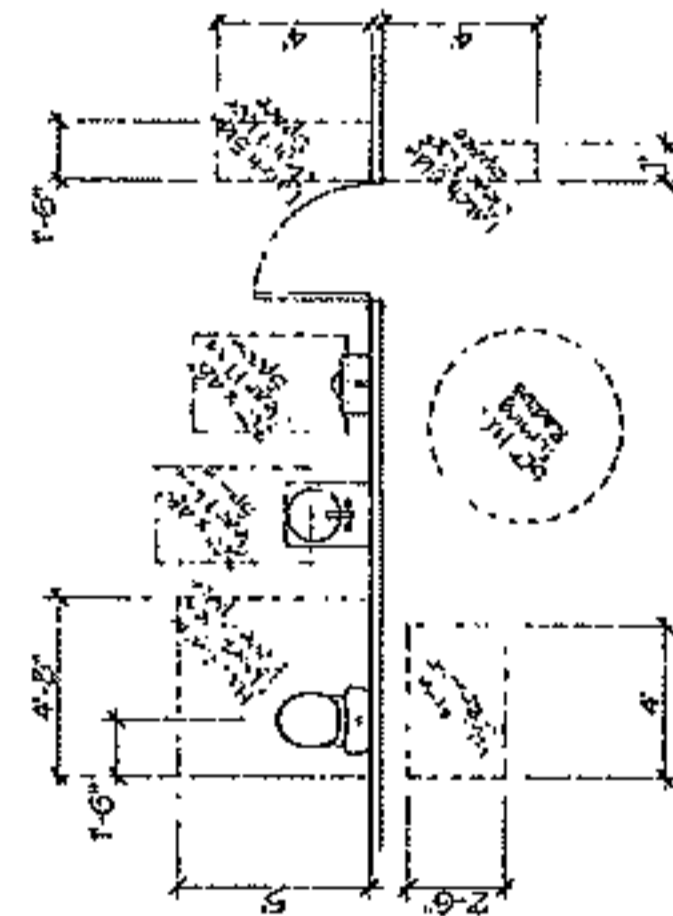


1 Symbol Schedule

Scale: 1/4" = 1'-0"

2 Typical HC Clearances

Scale: 1/4" = 1'-0"

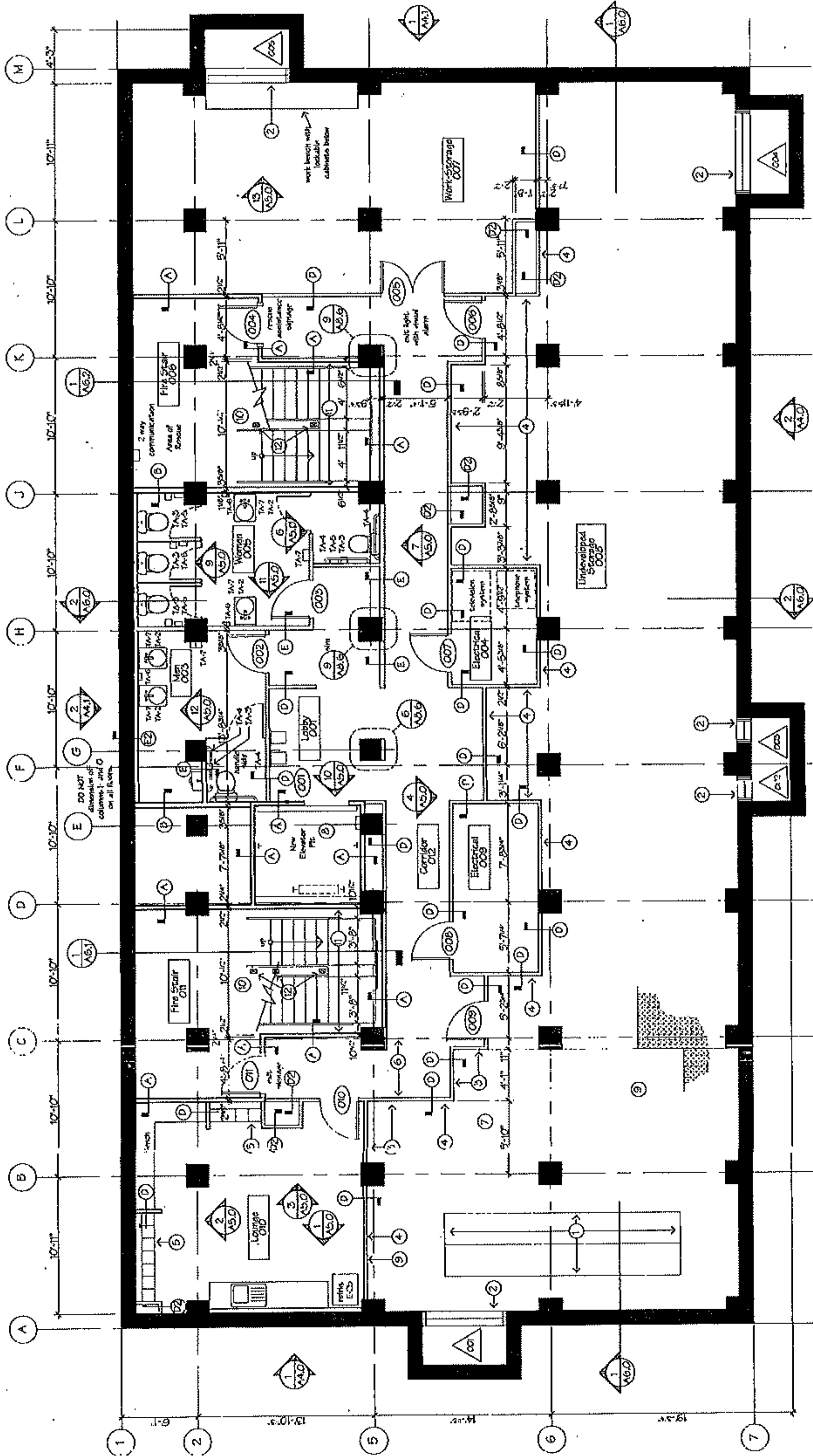


Sheet Numbers	Sheet Numbers	Sheet Numbers
D10 D11 D12 D13 D14 D15 D16 D17 D18	Basement Demolition Floor Plan (not included) Ground Demolition Floor Plan (not included) Second Demolition Floor Plan (not included) Third Demolition Floor Plan (not included) Fourth Demolition Floor Plan (not included) Fifth Demolition Floor Plan (not included) Sixth Demolition Floor Plan (not included) Seventh Demolition Floor Plan (not included) Roof Demolition Plan (not included)	M10 M11 M12 M13 M14 M15 M20 M21
A10 A11 A12 A13 A14 A20 A21 A30 A31 A40 A41 A50 A51 A52 A53 A54 A55 A60 A61 A62 A70 A81 A82 A83 A84 A85 A86 A87 A90 A91 A92 A93 A94	Basement Floor Plan Ground Floor Plan Second Floor Plan Third thru Seventh Floor Plan Roof Plan Room Finish Schedule Miscellaneous Schedules Door Schedule Window Schedule Exterior Elevations Interior Elevations Interior Elevations Interior Elevations Interior Elevations Interior Elevations Building Sections Stair Section Wall Sections Plan Sections and Details Plan Sections and Details Plan Sections and Details Plan Sections and Details Plan Sections and Details Basement Ceiling Plan Ground Reflected Ceiling Plan Second Reflected Ceiling Plan Third thru Sixth Reflected Ceiling Plan Seventh Reflected Ceiling Plan	E10 E11 E12 E13 E14 E15 E20 E21 E22 E23 E24 E30 E31
S01 S11 S21 S22 S23 S24 S31 S32 S41 S51	General Notes Basement Floor Plan 1st Floor Framing Plan 2nd Floor Framing Plan 3rd Floor Framing Plan 4th Floor Framing Plan Roof Framing Plan Penthouse Framing Plans Framing Details	F10 F11 F12 F13 F14 F20 F21 F22 F23 F24 F30 F31 F32
		Project Address 120 South Main Bryan, Texas 77802
		Legal Description Lot #1, Block #256 City of Bryan
		Project Description Phase 1
		Owner / Occupiers LaSalle Hotel Ltd.



LaSalle Hotel Construction Drawings

Architect Seal
 Engineer Seal
 Michael Gaertner & Associates
 2228 Mechanic Street, Suite 208
 Galveston, Texas 77550
 409/762-0500
 FAX 797-0105
 Bryan, Texas
 Issued: 6-5-98
 Revised: -/-/-
 Drawn by: amsp



- General Notes**
- 1 For all T&S's, refer to sheet economy schedule A21
 - 2 Field verify all dimensions and notify architect of dimensional discrepancies.

- Sheet Notes**
- 1 Sanitizer and apply 1/4" DDD Clear Coat to existing floor to remain for future display.
 - 2 Remove existing ceiling, frame, and hardware. Install with perforated non-ferrous aluminum ceiling.
 - 3 Wall to finish with existing retaining wall below. Use 1/2" perforated metal reveal at OOB / concrete joint.
 - 4 Do not finish Storage OOB side of wall, only tape and float.
 - 5 AUP - standard outside tape (12" x 12" x 70) metal locker. Door color 70%, frame color 70.
 - 6 New retaining walls and slabs, refer to structural drawings.
 - 7 New slab at existing ramp, refer to structural drawings.
 - 8 New floor slab at existing elevator pit, new retaining walls and slab at new elevator pit, refer to structural drawings.
 - 9 Existing locker room finish floor to 3'-0" below basement finish floor.
 - 10 The finish floor will be continuous from basement to seventh floor at west side and to roof at east side. The outside head rails shall horizontally extend 12" past the highest floor on every floor, and shall horizontally extend 12" past the lowest floor on every floor. Refer to structural drawings.
 - 11 The finish surface of new wall and low finish surface of new slab operating and both finish with the finish face of the existing concrete beam on both sides.
 - 12 New steel columns for stair supports. Refer to structural drawings for locations and details.

- Wall Types**
- A 2 hour wall assembly to comply with IBC I-1.1. 2 1/2" metal stud with 2 layers DSD OOB each side. Refer to 17 ASD
 - B 2 hour wall assembly to comply with IBC I-1.1. 3 DSD metal stud with 2 layers DSD OOB each side. Refer to 17 ASD
 - C 2 hour wall assembly to comply with IBC I-1.1. 2 1/2" metal stud with 2 layers DSD OOB each side. Refer to 17 ASD
 - D 2 1/2" metal stud with DSD OOB each side. Refer to 17 ASD
 - E 3 DSD metal stud with DSD OOB each side. Refer to 17 ASD
 - F 6" metal stud with DSD OOB each side. Refer to 17 ASD
 - G 2 1/2" metal stud with 1/2" DSD OOB each side. Refer to 17 ASD

1 Basement Floor Plan
Scale: 1/4" = 1'-0"

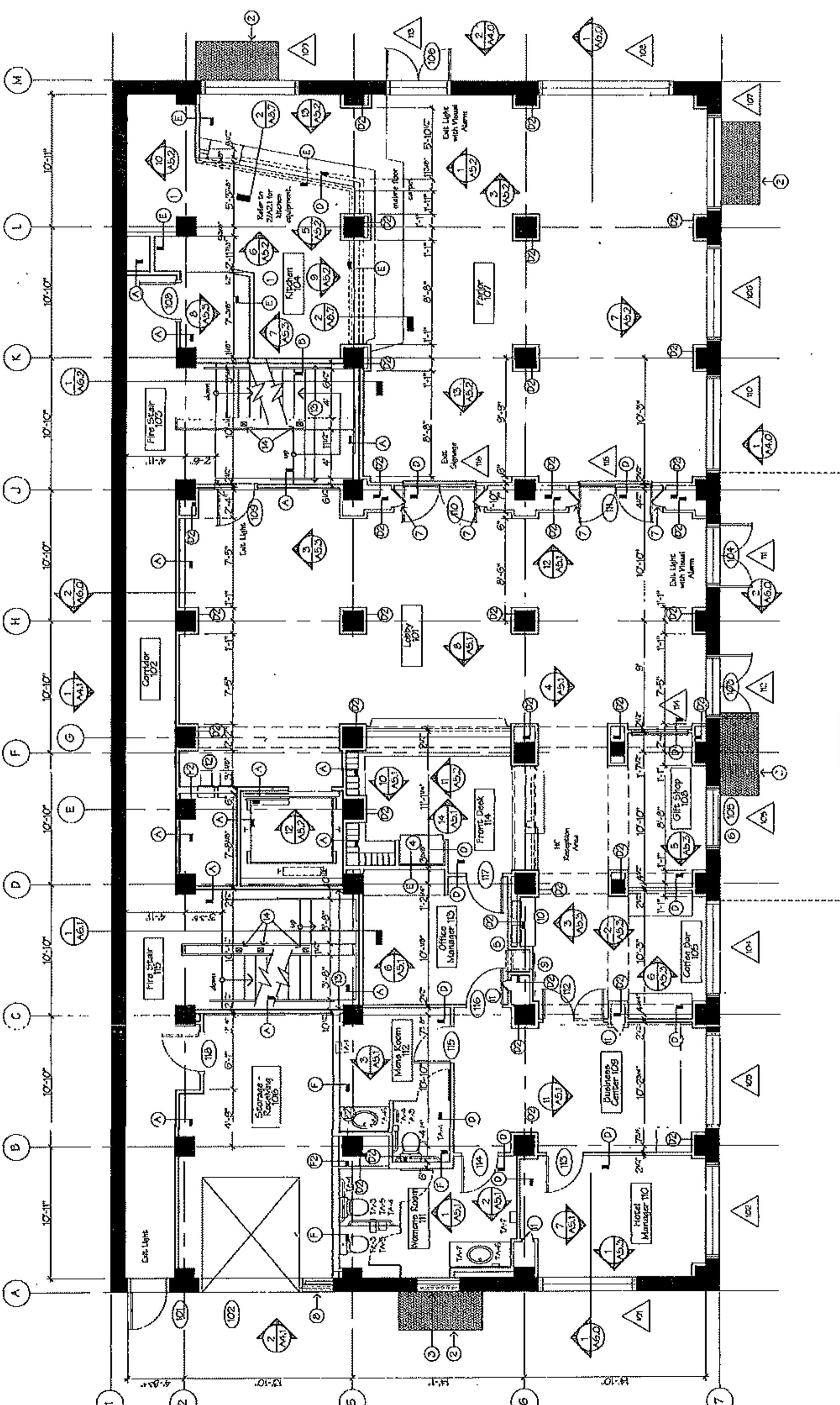
Architect Seal	Engineer Seal	Michael Gaertner & Associates 2228 Mochanic Street, Suite 208 Galveston, Texas 77550 409/782-0500 FAX 197-0105	LaSalle Hotel Construction Drawings 120 South Main Bryan, Texas	Issued: 6-5-98 Revised: 6-17-98 A1.0 Drawn by: amos
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Sheet Notes

- 1 Refer to Note Drawings for floor details in kitchen. Slope floor toward floor drains at 1/8" per foot.
- 2 Make all necessary sidewalk repairs or modifications for new area way access grill flush with sidewalk. PFG-5 aluminum grating with slip resistant surface as manufactured by Ohio Grating or equal. Concrete modifications should be a consistent texture and color as existing.
- 3 Remove existing door frame and hardware. Fill and patch in new wall to match existing.
- 4 Restore finish on the existing wall to match the display.
- 5 Class D honey comb reinforced to suit as instructed by manufacturer. Master D-25 with #4 base and #40 bars will bag deposit hopper.
- 6 Final coat of double doors room to open that match door number 102.
- 7 1 1/2" x 12" Milor M series primed metal access door centered on windows and framed as required. Infill and depth in new wall to match existing as required to form new overhead door opening.
- 8 Remove existing window frame and hardware. Infill and patch in new wall to match existing as required to form new overhead door opening.
- 9 Backcoat wall deposits below. Master AD55-B with changeable texture 1410.
- 10 Fully recessed telephone with 1/2" depth. Infill and face plate options. Architect to select. Back mount can suit at 65" and 57" above finish floor.
- 11 1 1/2" x 12" Milor M series primed metal access door centered on windows and framed as required at westmost location. Manufacturer recommended installation at all other locations.
- 12 Electric air conditioning units with fully recessed equipment. Mount one as manufacturer recommended height for regulated driving (fourteen) and one at 12' required height.
- 13 The finish surface of new wall and the finish surface of new slab opening are both flush with the inside face of the existing concrete beam on both sides.
- 14 New steel columns for stair support. Refer to structural drawings for locations and details.

Wall Types

- | | |
|---|---|
| A | 2 hour wall assembly to comply with IBC 703.2.1. 2 1/2" metal stud with 2 layers 5/8" GIB each side. Refer to 11/A20 |
| B | 2 hour wall assembly to comply with IBC 703.2.1. 3 1/2" metal stud with 2 layers 5/8" GIB each side with 2 layers 5/8" GIB. Refer to 11/A20 |
| C | 2 hour wall assembly to comply with IBC 703.2.1. 3 1/2" metal stud with 2 layers 5/8" GIB each side. Refer to 11/A20 |
| D | 2 1/2" metal stud with 5/8" GIB each side. Refer to 11/A20 |
| E | 3 1/2" metal stud with 5/8" GIB each side. Refer to 11/A20 |
| F | 6" metal stud with 5/8" GIB each side. Refer to 11/A20 |
| G | 2 1/2" metal stud at 7' OC. 6" channels side of 3 1/2" stud with normal insulation when heavier where continuous. Refer to 11/A20 |



1 Ground Floor Plan
Scale: 1/4" = 1'-0"

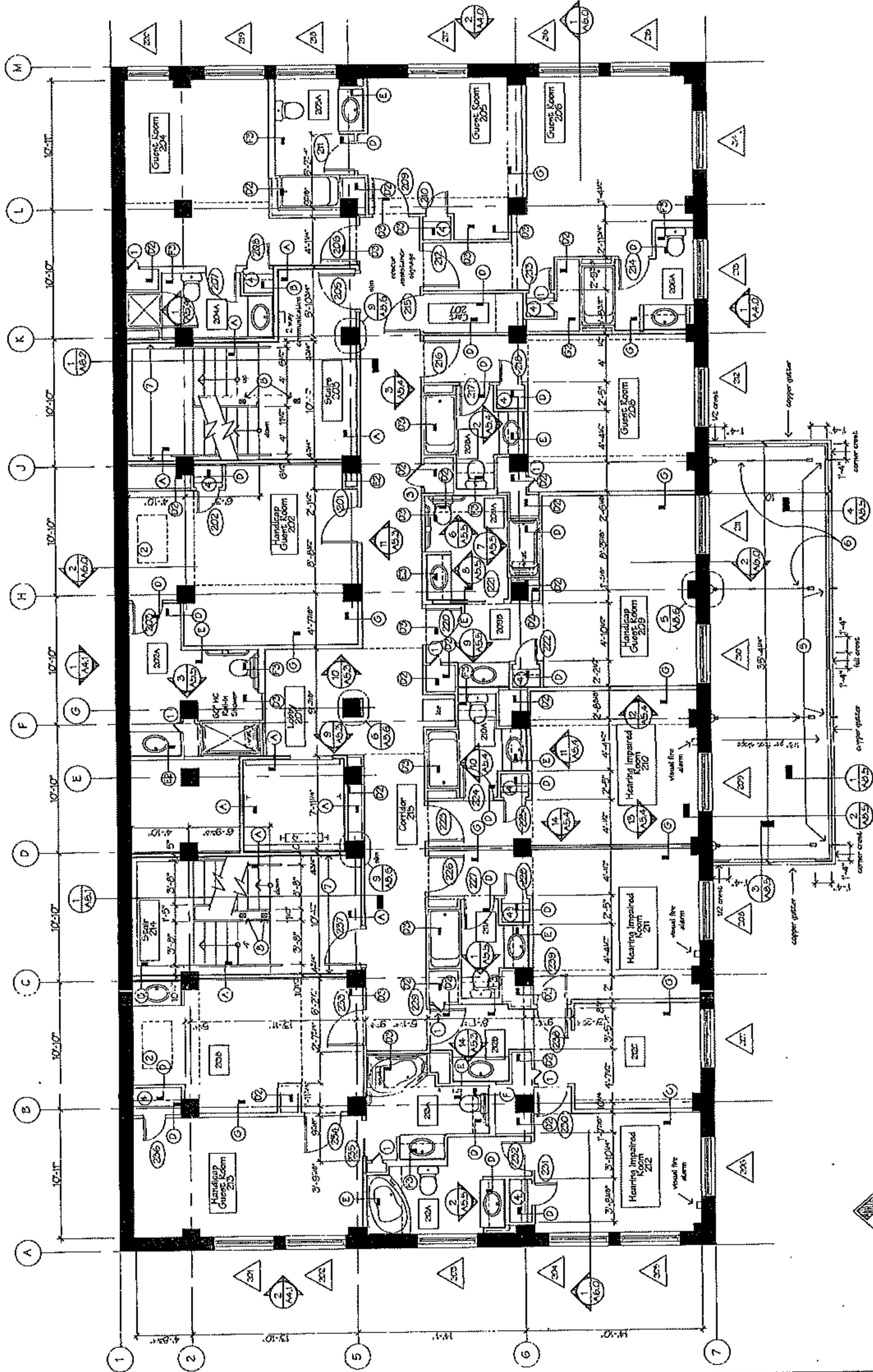
		<p>Michael Gaertner & Associates 2228 Mechanic Street, Suite 208 Galveston, Texas 77550 409/762-0500 FAX 409/762-0105</p>	<p>LaSalle Hotel Construction Drawings</p> <p>120 South Main Bryan, Texas</p>
<p>Project: 615798 Revision: 1/1/17</p>		<p>A1.1 Drawn by: amon</p>	

Sheet Notes

- 1 12" x 12" hollow metal access door installed per manufacturer recommendation
- 2 Provide double doors bronze acrylic skylight as indicated.
- 3 24" x 24" hollow metal access door installed per manufacturer recommendation
- 4 Closets shall be shown as indicated.
- 5 4" x 4" x 6" long copper drain pipes aligned with structural bracing supports. Cut open into brick masonry. Refer to 11.02.0.
- 6 Painted steel brackets refer to structural. Use existing steel iron attachments as bracing, refer to 11.02.0.
- 7 The finish surface of new wall and the finish side of the existing masonry are both brick with the masonry face of the existing concrete beam on both sides.
- 8 New steel columns for steel support. Refer to structural drawings for locations and details.

Wall Types

- A 2 layer wall assembly to comply with U.L. 100, 120 min. fire rating. Refer to 11.02.0.
- B 2 layer wall assembly to comply with U.L. 100, 120 min. fire rating. Refer to 11.02.0.
- C 2 layer wall assembly to comply with U.L. 100, 120 min. fire rating. Refer to 11.02.0.
- D 2 1/2" metal stud with 5/8" GFD with side. Refer to 11.02.0.
- E 3 5/8" metal stud with 5/8" GFD with side. Refer to 11.02.0.
- F 6" metal stud with 5/8" GFD with side. Refer to 11.02.0.
- G 2 1/2" metal stud with 5/8" GFD with side. Refer to 11.02.0.



1 Second Floor Plan

Scale: 1/4" = 1'-0"

Project: 6/3/98
 Drawn: [Signature]

A1.2

Drawn by: amos

LaSalle Hotel
 Construction Drawings

120 South Main
 Bryan, Texas

Michael Gaertner & Associates

2228 Meacham Street, Suite 208
 Galveston, Texas 77550
 409/762-0500
 FAX 737-0105

Engineer Seal

Architect Seal



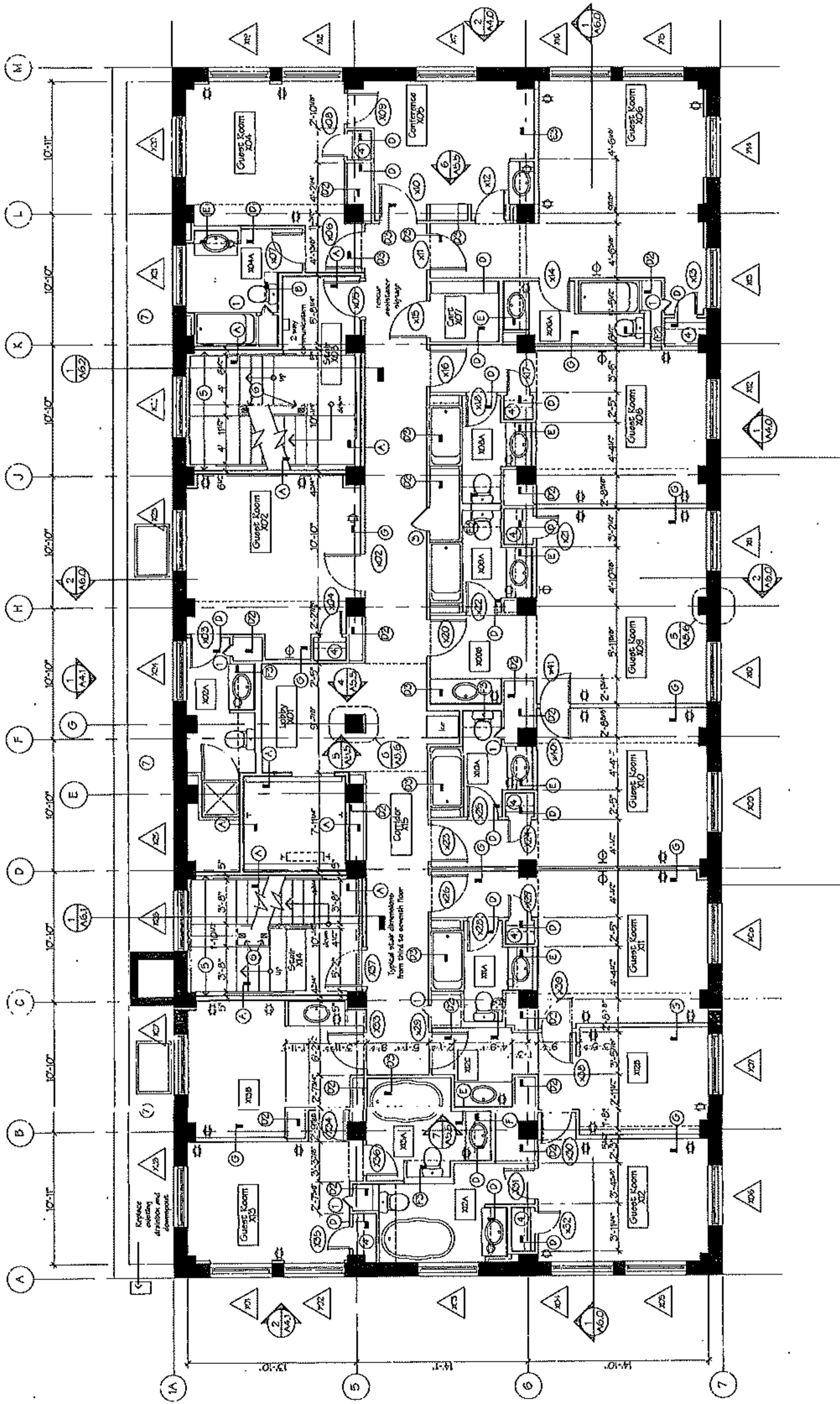
- Sheet Notes**
- 12" x 12" Mason-Masonry precast metal access door installed per manufacturer recommendation
 - 165 level
 - 24" x 36" Mason-Masonry precast metal access door installed per manufacturer recommendation
 - Direct shaft and door mat.
 - The finish surface of new wall and the finish surface of new slab opening are both finish with the inside face of the existing concrete beam on both sides.
 - New detail drawings for stairs support. Refer to structural drawings for locations and details.
 - Protect and rehab existing parapet walls, flashing, and roof per manufacturer warranty requirements.

Electrical Legend

- Notes: For complete electrical, refer to MEP
 Require fixture notes located, all other single
 wiring functions to enter
 Junction box and required equipment to hard wire
 unless electrical code. All wiring contains a
 television, cable, and an antenna.

Wall Types

- 2 hour wall assembly to comply with IBC 703.2.1.1. 2" gypsum 5/8" GWB each side. Refer to 17.020
- 2 hour wall assembly to comply with IBC 703.2.1.1. 2" gypsum 5/8" GWB each side. Refer to 17.020
- 2 hour wall assembly to comply with IBC 703.2.1.1. 2" gypsum 5/8" GWB each side. Refer to 17.020
- 2" gypsum 5/8" GWB each side. Refer to 17.020
- 2" gypsum 5/8" GWB each side. Refer to 17.020
- 6" metal stud with 5/8" GWB each side. Refer to 17.020
- 2" gypsum 5/8" GWB each side. Refer to 17.020



1 Third thru Seventh Floor Plan

Scale: 1/4" = 1'-0"


		<p>Michael Gaertner & Associates 2228 Meacham Street, Suite 208 Galveston, Texas 77550 409/762-0500 FAX 787-0105</p>	<p>LaSalle Hotel Construction Drawings 120 South Main Bryan, Texas</p>	<p>Project: 6157/B Revision: 1/1</p> <p>A1.3</p> <p>drawn by: amos</p>
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Room Finish Schedule

Room Number	Floor Finishes						Wall Finishes						Ceiling Height	Remarks												
	no finish or not applicable	concrete water	concrete slab / water	marble floor tile	carpet by owner, pad brand GC	carpet tile	no finish or not applicable	paint type A	paint type C (plaster)	masonry water type B	no finish or not applicable	no finish or not applicable			4" rubber base	4" rubber base with wood trim	4" wood base	4" wood base as head match	4" wood base	4" marble base	no finish or not applicable					
001														15-0	refer to RFP for crown detail											
002														15-0	refer to RFP for crown detail											
003														15-1	refer to RFP for crown detail											
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005														15-1	refer to RFP for crown detail											
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008														15-1	refer to RFP for crown detail											
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029														15-1	refer to RFP for crown detail											
030														15-1	refer to RFP for crown detail											

Room Finish Schedule

Room Number	Floor Finishes						Wall Finishes						Ceiling Height	Remarks													
	no finish or not applicable	concrete water	concrete slab / water	marble floor tile	carpet by owner, pad brand GC	carpet tile	no finish or not applicable	paint type A	paint type C (plaster)	masonry water type B	no finish or not applicable	no finish or not applicable			4" rubber base	4" rubber base with wood trim	4" wood base	4" wood base as head match	4" wood base	4" marble base	no finish or not applicable						
031														15-1	refer to RFP for crown detail												
032														15-1	refer to RFP for crown detail												
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Architect Seal		Engineer Seal	LaSalle Hotel Construction Drawings 120 South Main Bryan, Texas
			Michael Gaertner & Associates 2228 Meacham Street, Suite 208 Galveston, Texas 77550 409/762-0500 FAX 409-762-0105
			Issued: 4/5/98 Revised: --- A2.0

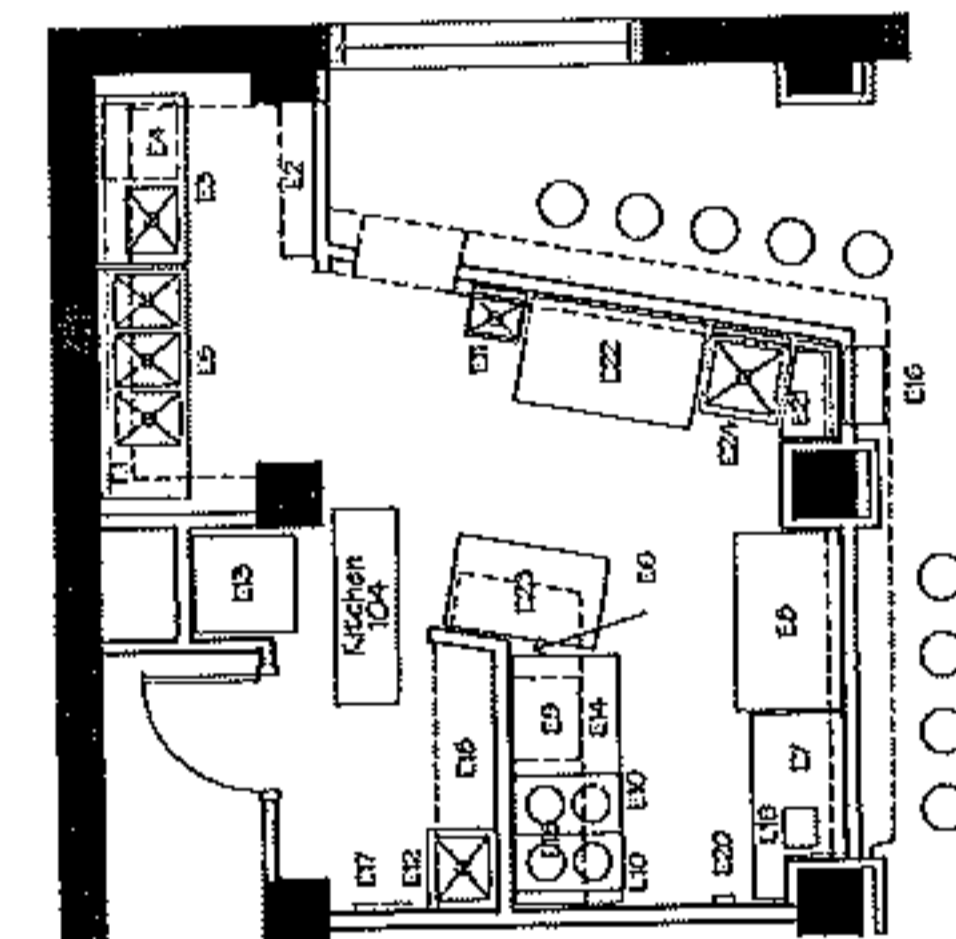
1 | Room Finish Schedule

1 | Finish Schedule

Finish	Description	Manufacturer Name	Model Number	Remarks
1	concrete slab			
2	performed floor tile			
3	carpet			
4	acoustic tile			
5	acoustic tile			
6	acoustic tile			
7	acoustic tile			
8	acoustic tile			
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99	acoustic tile			
100	acoustic tile			

1 | Finish Schedule

Scale: 1/4" = 1'-0"



2 | Kitchen Equipment Schedule

Equipment Number	Equipment Description	Manufacturer Name	Model Number	Remarks
1	stainless steel sink	Sink		
2	stainless steel sink	Sink		
3	stainless steel sink	Sink		
4	stainless steel sink	Sink		
5	stainless steel sink	Sink		
6	stainless steel sink	Sink		
7	stainless steel sink	Sink		
8	stainless steel sink	Sink		
9	stainless steel sink	Sink		
10	stainless steel sink	Sink		
11	stainless steel sink	Sink		
12	stainless steel sink	Sink		
13	stainless steel sink	Sink		
14	stainless steel sink	Sink		
15	stainless steel sink	Sink		
16	stainless steel sink	Sink		
17	stainless steel sink	Sink		
18	stainless steel sink	Sink		
19	stainless steel sink	Sink		
20	stainless steel sink	Sink		
21	stainless steel sink	Sink		
22	stainless steel sink	Sink		
23	stainless steel sink	Sink		
24	stainless steel sink	Sink		
25	stainless steel sink	Sink		
26	stainless steel sink	Sink		
27	stainless steel sink	Sink		
28	stainless steel sink	Sink		
29	stainless steel sink	Sink		
30	stainless steel sink	Sink		

2 | Kitchen Equipment Schedule

3 | Paint Schedule

Paint Number	Paint Description	Manufacturer Name	Manufacturer Number	Remarks
1	Latex	Benjamin Moore	BM 1001	
2	Latex	Benjamin Moore	BM 1001	
3	Latex	Benjamin Moore	BM 1001	
4	Latex	Benjamin Moore	BM 1001	
5	Latex	Benjamin Moore	BM 1001	
6	Latex	Benjamin Moore	BM 1001	
7	Latex	Benjamin Moore	BM 1001	
8	Latex	Benjamin Moore	BM 1001	
9	Latex	Benjamin Moore	BM 1001	
10	Latex	Benjamin Moore	BM 1001	
11	Latex	Benjamin Moore	BM 1001	
12	Latex	Benjamin Moore	BM 1001	
13	Latex	Benjamin Moore	BM 1001	
14	Latex	Benjamin Moore	BM 1001	
15	Latex	Benjamin Moore	BM 1001	
16	Latex	Benjamin Moore	BM 1001	
17	Latex	Benjamin Moore	BM 1001	
18	Latex	Benjamin Moore	BM 1001	
19	Latex	Benjamin Moore	BM 1001	
20	Latex	Benjamin Moore	BM 1001	
21	Latex	Benjamin Moore	BM 1001	
22	Latex	Benjamin Moore	BM 1001	
23	Latex	Benjamin Moore	BM 1001	
24	Latex	Benjamin Moore	BM 1001	
25	Latex	Benjamin Moore	BM 1001	
26	Latex	Benjamin Moore	BM 1001	
27	Latex	Benjamin Moore	BM 1001	
28	Latex	Benjamin Moore	BM 1001	
29	Latex	Benjamin Moore	BM 1001	
30	Latex	Benjamin Moore	BM 1001	

3 | Toilet Accessory Schedule

4 | Toilet Accessory Schedule

Accessory Number	Accessory Description	Manufacturer Name	Manufacturer Number	Remarks
1	toilet paper holder	Benjamin Moore	BM 1001	
2	toilet paper holder	Benjamin Moore	BM 1001	
3	toilet paper holder	Benjamin Moore	BM 1001	
4	toilet paper holder	Benjamin Moore	BM 1001	
5	toilet paper holder	Benjamin Moore	BM 1001	
6	toilet paper holder	Benjamin Moore	BM 1001	
7	toilet paper holder	Benjamin Moore	BM 1001	
8	toilet paper holder	Benjamin Moore	BM 1001	
9	toilet paper holder	Benjamin Moore	BM 1001	
10	toilet paper holder	Benjamin Moore	BM 1001	
11	toilet paper holder	Benjamin Moore	BM 1001	
12	toilet paper holder	Benjamin Moore	BM 1001	
13	toilet paper holder	Benjamin Moore	BM 1001	
14	toilet paper holder	Benjamin Moore	BM 1001	
15	toilet paper holder	Benjamin Moore	BM 1001	
16	toilet paper holder	Benjamin Moore	BM 1001	
17	toilet paper holder	Benjamin Moore	BM 1001	
18	toilet paper holder	Benjamin Moore	BM 1001	
19	toilet paper holder	Benjamin Moore	BM 1001	
20	toilet paper holder	Benjamin Moore	BM 1001	
21	toilet paper holder	Benjamin Moore	BM 1001	
22	toilet paper holder	Benjamin Moore	BM 1001	
23	toilet paper holder	Benjamin Moore	BM 1001	
24	toilet paper holder	Benjamin Moore	BM 1001	
25	toilet paper holder	Benjamin Moore	BM 1001	
26	toilet paper holder	Benjamin Moore	BM 1001	
27	toilet paper holder	Benjamin Moore	BM 1001	
28	toilet paper holder	Benjamin Moore	BM 1001	
29	toilet paper holder	Benjamin Moore	BM 1001	
30	toilet paper holder	Benjamin Moore	BM 1001	

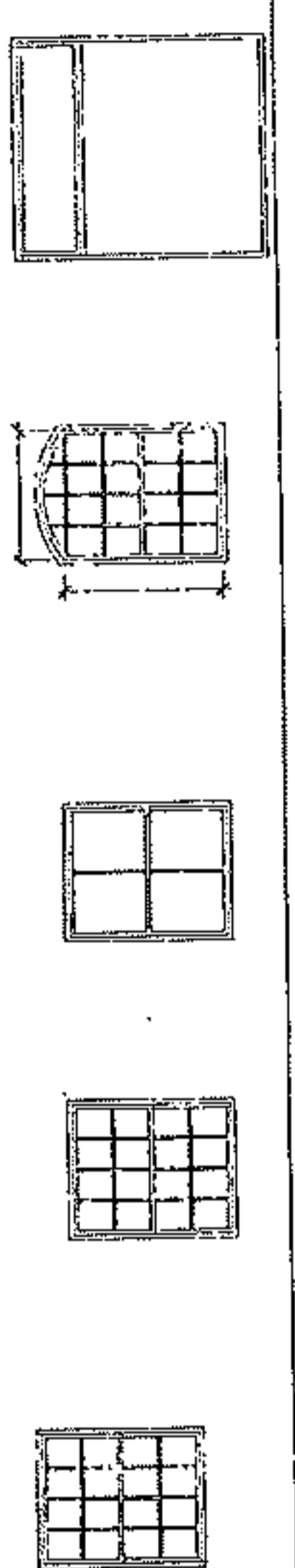
Michael Gaertner & Associates
2228 Meacham Street, Suite 208
Galveston, Texas 77550
409/762-0500
FAX 787-0105

LaSalle Hotel
Construction Drawings
120 South Main
Bryan, Texas

Revised: 10/10/2010
Drawn: 10/10/2010
A2.1

Window Number	Window Type	Hardware Type	Head Detail	Jamb Detail	sill Detail	Remarks
001						clear glass
002						clear glass
003						clear glass
004						clear glass
005						clear glass
006						clear glass
007						clear glass
008						clear glass
009						clear glass
010						clear glass
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013						clear glass
014						clear glass
015						clear glass
016						clear glass
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027						clear glass
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032						clear glass
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039						clear glass
040						clear glass
041						clear glass
042						clear glass
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076						clear glass
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082						clear glass
083						clear glass
084						clear glass
085						clear glass
086						clear glass
087						clear glass
088						clear glass
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095						clear glass
096						clear glass
097						clear glass
098						clear glass
099						clear glass
100						clear glass

Window and Hardware Schedule



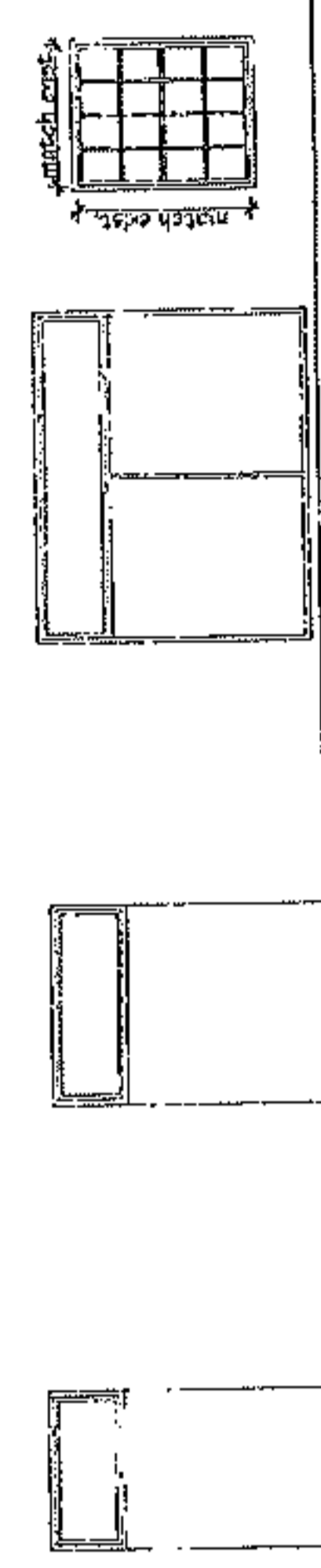
Type A
Location 1
Exterior Fixed Transom over doors
replace frame & paint

Type B
Location 2
Interior Fixed Transom over doors

Type C
Location 3
Exterior window with top
replace with glass as in location 1, but with
replace with glass as in location 2, but with
not include 2 and 3 glass in one frame

Type D
Exterior window with top
replace with glass as in location 1, but with
replace with glass as in location 2, but with
not include 2 and 3 glass in one frame

Type E
Exterior window with top
replace with glass as in location 1, but with
replace with glass as in location 2, but with
not include 2 and 3 glass in one frame



Type F
Location 1
Exterior Fixed Transom over doors
replace frame & paint

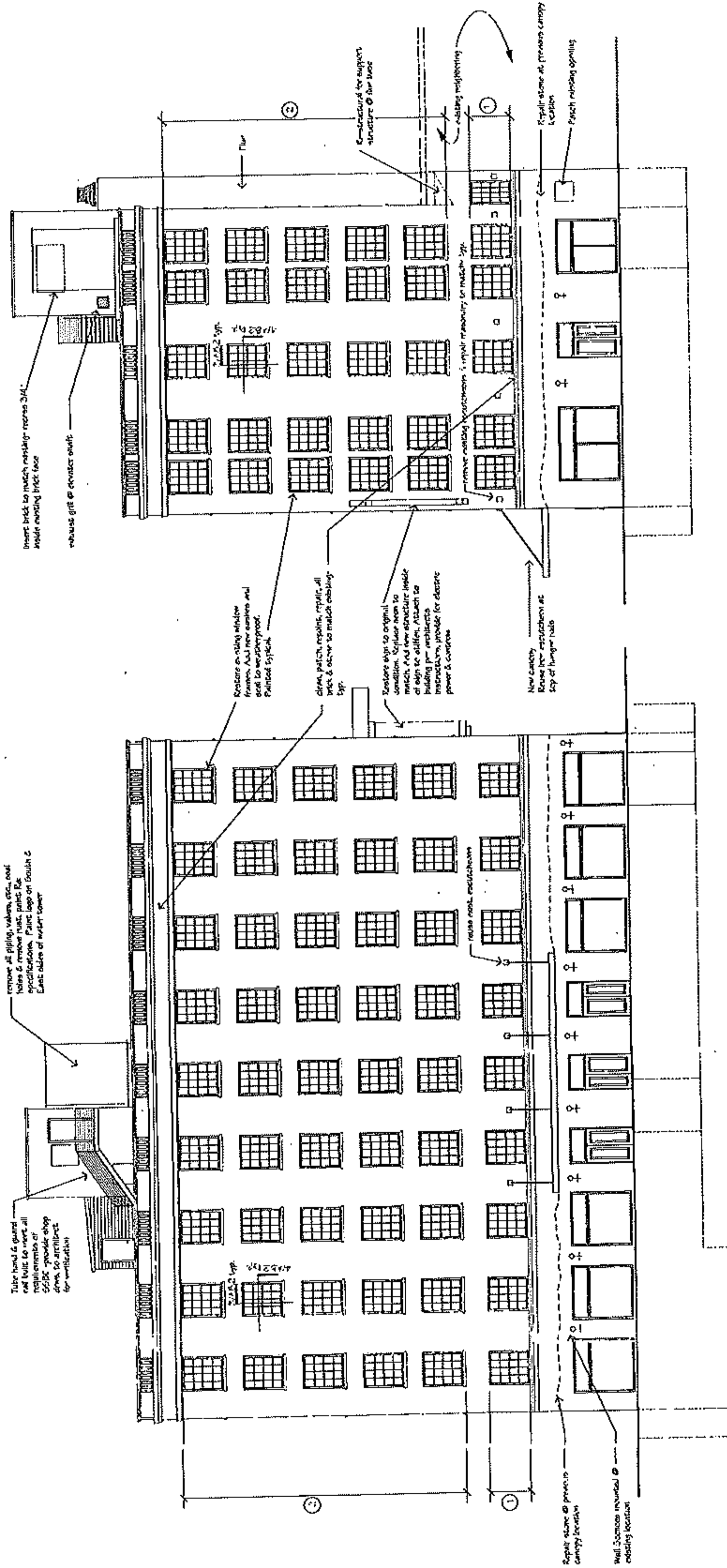
Type G
Interior Fixed Transom over doors

Type H
Location 2
Exterior window with top
replace with glass as in location 1, but with
replace with glass as in location 2, but with
not include 2 and 3 glass in one frame

Type I
Location 3
Exterior window with top
replace with glass as in location 1, but with
replace with glass as in location 2, but with
not include 2 and 3 glass in one frame

1 Window Schedule
Scale: 1/4" = 1'-0"


revised: 8/5/98 ref: 1-1-1	A3.1
LaSalle Hotel Construction Drawings	120 South Main Bryan, Texas
Michael Gaerthner & Associates 2228 Meacham Street, Suite 208 Galveston, Texas 77550 409/762-0500 FAX 767-0105	



- Review Notes
- Remove existing trim and mill two stories with bottom window frames and mill in necessary. Replace trim pieces of mill in place to match original window. Glass to be single pane, frame and mill to match.
 - Frame up Note #1 with masonry and floor.
 - Refract, replace galvanized window frames and mill in necessary. Replace trim pieces of mill in place to match original color of glass to match old frame glass, as far as possible.

1 | South Elevation
Scale: 1/8" = 1'-0"

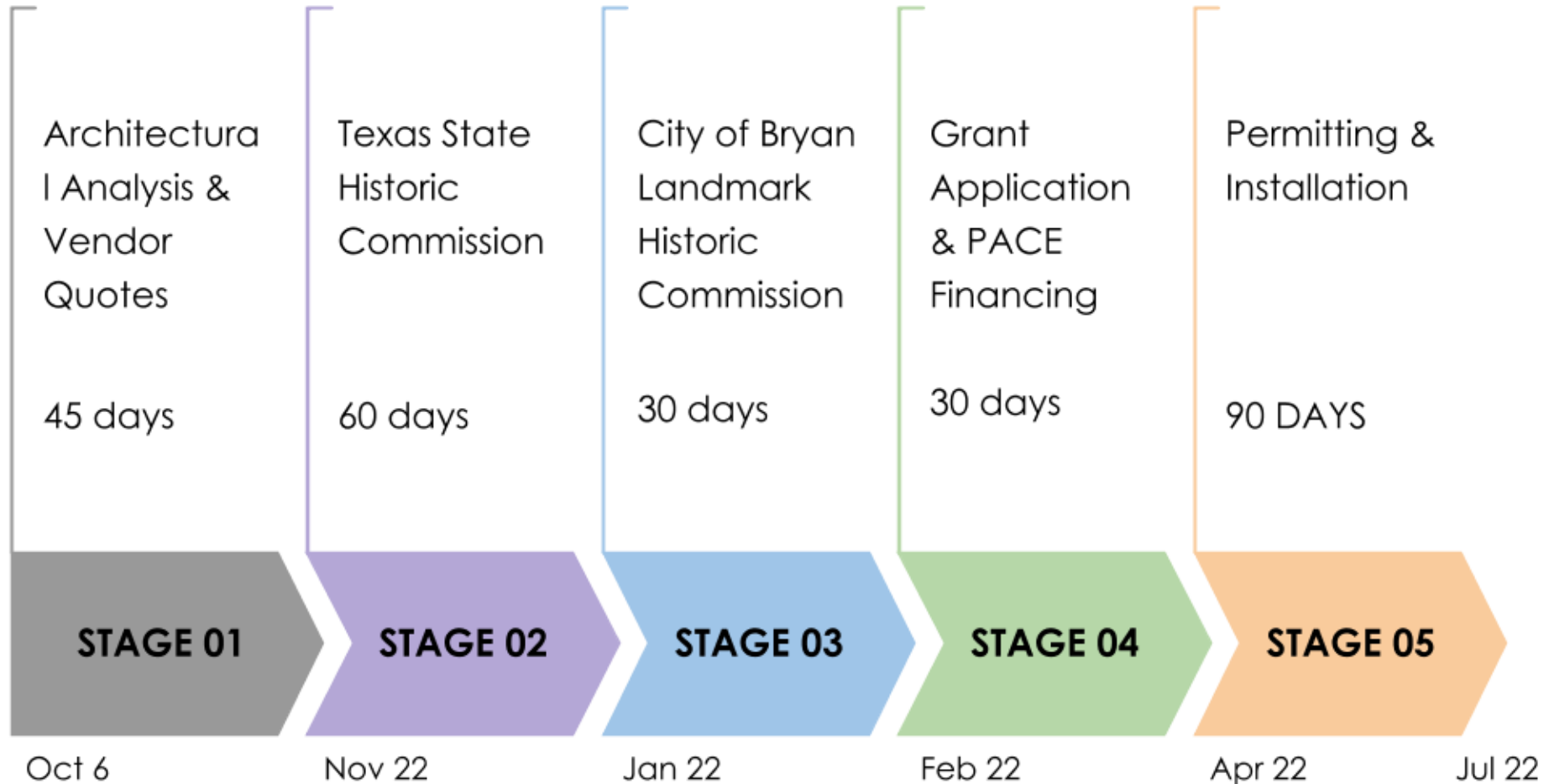
2 | East Elevation
Scale: 1/8" = 1'-0"

Issued: 6/15/98 Revised: 7/1/98 A4.0	LaSalle Hotel Construction Drawings 120 South Main Bryan, Texas
Michael Gaertner & Associates 2228 Mochanic Street, Suite 208 Galveston, Texas 77550 409/762-0500 FAX 787-0105	

MOST ACTION ITEMS HAVE BEEN COMPLETED

	City Punch list Items	Status 1/11/20
Exterior	No Knox Box at the entry	COMPLETED 10/7
	Replace West Exit Door	COMPLETED 11/9
	Re-Mount Brackets on Gas Line	COMPLETED 11/2
	Re-Align East Entrance Door	COMPLETED 10/27
	Repair Roof Access Hatch	COMPLETED 11/9
	Replace Doors on Roof Structure	COMPLETED 11/9
	Repair or Replace All Windows That are a Safety Hazard	Submitted/under review with TEXAS HISTORICAL COMMISSION
	Sand, Prime, and Paint All Steel Lintels on Windows	
	Repair or Remove Water Tank/Check for Stability	
	5 knocks permit compliance	Application for removal in STAGE 5 (in conjunction with city arch removal)
		COMPLETE BY 1/30/20 (near completion)
Interior	Replace Emergency Lighting with LED Packs	COMPLETED 10/20 + 10/21
	Repair or Replace Stairway Lighting	COMPLETE SCHEDULED BY 1/31
	Remove Flammable Liquids/Gas Bottles in Exit Corridor	COMPLETED 10/14
	Missing Tags on Fire Alarm Panel/Re-Program Panel	COMPLETED 10/20
	Repair Rotted Wood on the Windows	COMPLETED 12/20
	Organize Storage in Boiler Room/Maintenance Room	COMPLETED 10/14
	Panic Hardware to be Installed on 5 Knocks Exit Door	COMPLETED 10/13

LASALLE HOTEL - WINDOW/WATER TANK TIMELINE



Window Replacement Projected Cost

114 locally sourced & Historically accurate windows

Materials (Windsor windows and doors)	\$62,700
Labor and Design(Green Igloo door & windows)	\$68,400
Total	\$131,100
City Matching Grant Application	\$65,550
Financing	\$65,550

*subject to change

Water Tank Repair Projected cost

Pro-design Services - Bryan/College Station

Removal (Pro-Design of BCS)	\$7,500
Crane Rental & Permits	\$2,000
Total	\$9,500
City Matching Grant Application	\$4,750
Financing	\$4,750

* subject to change

CITY OF BRYAN
 PO BOX 1000
 BRYAN TX 77805
 (979) 209-5010

Phone Access Code 1517911
 Application Number 20-00004029 Date 1/06/21
 Property Address 120 S MAIN ST
 Parcel number 191000-0256-0010
 PID # R23309
 Application type description COMMERCIAL - ALTERATION/RENOVATION
 Subdivision Name CITY OF BRYAN
 Property Use HISTORICAL DISTRICT
 Application valuation 2280

Owner	Contractor
-----	-----
JANAK PATEL	PRO DESIGN CONSTRUCTION
120 S MAIN ST	6391 BEDTHEL CEMETARY RD
BRYAN, TX 77803	NORTH ZULCH TX 77872
BRYAN TX 77803	NORTH ZULCH TX 77872
	(979) 777-1228

--- Structure Information 000 000 LASALLE HOTEL...CEM
 Other struct info BLDG INTENDED USE HOTEL
 BLDG PRESENT USE HOTEL

Permit BUILDING PERMIT - COMMERCIAL
 Additional desc WINDOWS/DOORS...JT
 Permit Fee 40.00
 Issue Date 11/19/20 Valuation 2280
 Expiration Date 5/18/21

Fee summary	Charged	Paid	Credited	Due
-----	-----	-----	-----	-----
Permit Fee Total	40.00	40.00	.00	.00
Grand Total	40.00	40.00	.00	.00

SEPARATE ELEC; MECH; PLUMB; PERMITS ARE REQUIRED. I HEREBY
 CERTIFY TO HAVE READ AND EXAMINED THIS PERMIT AND THE SAME
 IS TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES
 GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH.
 APPLICANT SIGNATURE: _____

TEXAS HISTORICAL COMMISSION
REAL PLACES TELLING REAL STORIES

Recorded Texas Historic Landmark (RTHL) and Easement Review Request Form

Please Choose: RTHL Review Easement Review

GENERAL PROJECT INFORMATION

Please complete the following.

1. Property Name and Location			
NAME OF HISTORIC PROPERTY LaSalle Hotel			
ADDRESS 120 South Main Street	CITY Bryan, Texas	COUNTY Brazos	ZIP CODE 77803
2. Project Name			
NAME OR BRIEF DESCRIPTION OF PROJECT WORK LaSalle Hotel Window Renovation Project			
3. Applicant (owner)			
OWNER LH3 Hospitality LLC; Janak Patel, Registered Agent			
ADDRESS 120 South Main Street	CITY Bryan	STATE Texas	ZIP CODE 77803
PHONE 816-309-9678	EMAIL jmpatel99@gmail.com		
4. Architect or Other Project Professional			
NAME/FIRM Winchester Architects		REPRESENTATIVE Wm. Brian Pollard	
ADDRESS 201A North Main Street	CITY Bryan	STATE Texas	ZIP CODE 77803
PHONE 979-823-4039	EMAIL brian@winchester-architects.com		
5. Construction Period			
PROPOSED PROJECT START DATE February 1, 2021			
6. Involvement in Other Programs PLEASE NOTE THAT ALL OTHER PROGRAMS REQUIRE SEPARATE SUBMISSIONS.			
ARE FEDERAL FUNDING, PROPERTY, OR PERMITS INVOLVED IN THE PROJECT? No.			
IF YES, WHAT FEDERAL AGENCY? 			
ARE YOU PLANNING TO APPLY FOR STATE AND/OR FEDERAL TAX CREDITS? Yes			
IF YES, HAVE YOU ALREADY SUBMITTED YOUR APPLICATION? No.			

REQUIRED ATTACHMENTS

For all projects, please attach the following:

- Written description of the proposed project;
- Project documentation (plans, specifications, etc.); and
- Photographs of the property showing areas of proposed work.

SUBMISSION

Please submit the completed application and required attachments to:

Texas Historical Commission
Division of Architecture
108 W. 16th St., 2nd Floor
Austin, TX 78701

OFFICE USE ONLY
Date Received: <input type="text"/>
Due Date (30 days): <input type="text"/>
Date Responded: <input type="text"/>
RTHL Marker Number: <input type="text"/>
Tax Credit Project Number: <input type="text"/>

Texas Historical Commission
Division of Architecture
P.O. Box 12276
Austin, TX 78711-2276
512-463-6094
Fax 512-463-6095
architecture@thc.texas.gov



thc.texas.gov



REQUEST FOR APPROVAL

Winchester Architects

Would like to request an approval for
Window Replacement Alternatives

for the

LaSalle Hotel Windows Renovation
Project

120 South Main

Bryan, Texas 77803

ARCHITECTS



Winchester Architects
201A North Main Street
Bryan, Texas 77803
Wm. Brian Pollard
Project Manager
LaSalle Hotel Windows Renovation Project

December 28, 2020

Texas Historical Commission
Christina Reith
Division of Architecture
P.O. Box 12276
Austin, Texas 78711-2276

Ms. Reith,

Following up on our phone call from December 4, 2020:

- The LaSalle Hotel in Downtown Bryan is a historic hotel built in 1928.
- The LaSalle Hotel is an architectural landmark representative of the City of Bryan's 20 century commercial development. The earliest known records of the original two-story structure are from 1866, as one of the 1st two story structures in Bryan, Texas.
- As early as 1875, the 1st floor was commercial development, and the 2nd floor was the Academy of Music, Bryan's first theater center and opera house.
- In 1928, the now 7 floor building became the tallest building in Downtown Bryan.
- The building served as a hotel, nursing home and apartment building until it closed in 1980.
- In 1997, LaSalle Hotel Ltd. bought the hotel. In 1998 LaSalle Hotel Ltd. renovated the building, to make it the landmark hotel it is today.
- As part of the 1998 renovation, the steel framed windows were replaced with wood framed, 8-over-8 simulated divided lite double hung windows.
- The LaSalle Hotel was added to the National Register of Historic Buildings on May 26, 2000 due to the hotel's significance to the City of Bryan.

The building has since fallen into disrepair due to technical problems affecting the weather tightness of the exterior envelope. The focus of this project is to weather proof the exterior envelope of the building by replacing the wood framed windows that were placed in the building as part of the 1998 renovations.

HISTORICAL FINDINGS

- **ORIGINAL STEEL FRAMED WINDOWS**
- **MULTIPLE CONFIGURATIONS, INCLUDING:**
 - **TWO-OVER-TWO DIVIDED LITE DOUBLE HUNG FRAMES**
 - **ONE-OVER-ONE DIVIDED LITE DOUBLE HUNG FRAMES**
 - **8-OVER-8 DIVIDED LITE DOUBLE HUNG FRAMES**

Winchester Architects believes that the original windows in the La Salle were steel framed windows; in varying configurations, including two 1-over-1 configured sashes in a steel frame, and/or two 2-over-2 sashes in a steel frame. This is supported by:

The windows on the north elevation of the building appear to be original. These windows are a 2-over-2 configuration. See historical pic below:



Also see the following (December 2020) pic of the original steel framed windows (north elevation) below:



TECHNICAL CONSIDERATIONS:

- **PREMATURE DETERIORATION DUE TO:**
 - **PREVAILING WINDS/RAIN**
 - **“FLAT” CAST STONE SILLS**
 - **WOOD FRAMED WINDOWS VS. STEEL FRAMED WINDOWS**

Steel framed windows require very little slope on the window sills. Any water accumulating on, or under the window sill frame is negligible, since steel window sills/frames do not deteriorate, like wood framed window sills/frames might rot in wet weather conditions. The window frames and sills on the existing (1928) steel framed windows appear to be in much better condition than the 1998 wood framed windows, despite being 90+ years old. As you can see in the pics on the next page, the interior paint is peeling, however the steel window frame sill is in good condition. These windows will be scraped, sanded, primed and repainted as part of this window renovation project.

Note the steel windows on the north elevation of the La Salle Hotel in the photos below:

Top of steel framed window:



Bottom of Steel framed window:



Close-up of the top of the bottom sash frame of the steel framed windows:

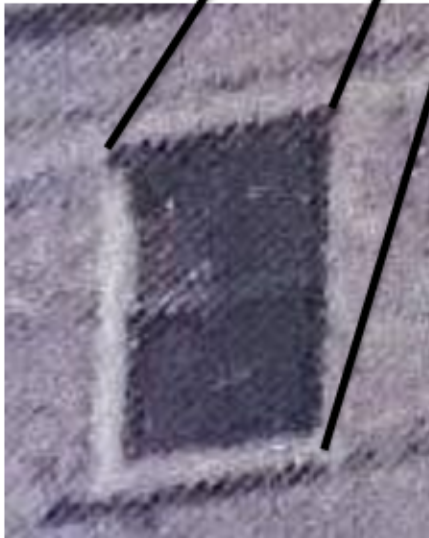


Close-up of steel window frame sill:



Note: Even though the paint finish has been compromised, there is no rust or corrosion on the inner surfaces of the steel framed windows.

Please see the historical pictures of the La Salle that seem to show what appears to be 1-over-1:



South facing window.



East facing window.

Many of the windows, (particularly those that were replaced with wood framed windows in the 1998 Renovation of the La Salle Hotel), are severely deteriorated due to water infiltration and wood rot. The slope on the original cast sill is not steep enough to drain the water off properly. Winds, prevailing from the southeast, blow rain against the south elevation of the building, creating a “wind tunnel” in the courtyard created by the La Salle on the north side of the courtyard and the Howell Building on the south side of the courtyard. Please see the Google Map below:



Note the deterioration of the 1998 wood framed windows on the south elevation in the following photos:





COMPARABLE BUILDING IN HISTORIC DOWNTOWN BRYAN

In addition to the comments and photos presented above, there is a similar building in downtown Bryan which has been renovated and has replaced the steel framed windows. This building did **not** use wood framed window replacements.

I spoke with Joseph Langston, Vice President of Operations for Fibertown in Bryan, Texas, about the Varisco Building; which is located at 219 North Main in Bryan, Texas. The Varisco Building was also built in the late 1920's; and originally had all steel framed windows. Mr. Langston gave me a tour of the Varisco Building after we discussed several similarities of the Varisco Building and the LaSalle Hotel.

This building was also renovated in the late 90's; replacing most of the steel framed windows. The steel framed windows had been "painted shut" as part of building maintenance efforts. The Varisco Building was first built in the late 20's. As part of the late 90's renovation, all of the windows were replaced, except for the windows facing south. The windows facing south were not replaced, since the south elevation is built up against the neighboring building. Access to these windows for replacement would be cost prohibitive.

Refer to the pics below of the steel framed windows on the south side of the Varisco building:



Manufacturer's metal labels on the steel framed window sill in the Varisco Building.



One of the windows on the south side of the Varisco Building. This window is still operational. (Note the similar appearance and condition of the La Salle Hotel steel framed windows.)



Note the similar “almost flat” sill, and how it is extended over the cast stone sill. The “almost flat” cast stone sill and steel frame does not deteriorate due to water accumulation; whereas a wood framed window sill would be subject to rot)

The windows in the Varisco building were replaced with a paintable composite material as part of a late 90's renovation. See Pics below:



Composite framed window, replacing steel framed windows in the Varisco Building. (Note that this composite material is not subject to wood rot, due to the "almost flat" cast stone sill.)



Sill/frame conditions of a typical paintable composite framed window in the Varisco Building (these replaced the steel framed windows in the late 90's.)

In addition to the above observations, I am attaching a letter from the Branch Manager of the Carnegie History Center in Downtown Bryan to the General Manager of the LaSalle Hotel discussing the historical window configurations for the hotel:



Carnegie History Center

Dear Ms. Hessong,

Thank you for contacting the Carnegie History Center.

As an expert in historical document preservation as well as historical building preservation, it is my recommendation that the LaSalle Hotel use one over one windows in its restoration. This would maintain the historical aesthetic as it was when it was built in 1928.

In addition to maintaining aesthetics, this would preserve its original appearance. Exterior alterations can sometimes lead to a removal from historical designations. Since the LaSalle Hotel is in the National Register of Places, I would advise against the use of another design.

I would like to extend my deepest gratitude for your passion in preserving Downtown Bryan! When I return to office, I will forward one of our original photos of the LaSalle Hotel. If you have any further questions, please don't hesitate to ask.

Best Regards,

Rachael C. Altman, M. Ed.

Branch Manager

Carnegie History Center

111 South Main Street

Bryan, Texas 77803

979-209-5631

www.bcslibrary.org/carnegie

*Carnegie History Center
111 South Main Street
Bryan, Texas 77803*

CONCLUSIONS:

- VARIOUS DIVIDED LITE CONFIGURATIONS (ONE-OVER-ONE, TWO-OVER-TWO, 8-OVER-8, ETC.) ARE HISTORICALLY PREVALENT IN SIMILAR BUILDINGS IN DOWNTOWN BRYAN
- WOOD FRAMED WINDOWS ARE NOT ECONOMICALLY NOR TECHNICALLY SUITABLE REPLACEMENTS
- VARIOUS WINDOW FRAME MATERIALS, (INCLUDING STEEL, VINYL, VINYL COMPOSITE AND ALUMINUM CLAD) HAVE PROVEN TO BE QUALITY ALTERNATIVES TO WOOD FRAMED WINDOWS; DUE TO REDUCED MAINTENANCE AND SUPERIOR WEATHER RESISTANCE.
- CURRENT BUILDING CODE REQUIREMENTS LIMIT THE USE OF A SINGLE HUNG OR DOUBLE HUNG CONFIGURATION. (BUILDING CODES REQUIRE THAT ANY OPERABLE WINDOW IN THE HOTEL BE RESTRICTED TO OPENING 4" OR LESS).

PROPOSED SOLUTIONS:

- REPLACE THE 115 WOOD FRAMED WINDOWS WITH A SINGLE HUNG VINYL FRAMED WINDOW, SIMILAR TO ONE OF THE CONFIGURATIONS IN A HISTORICAL CONTEXT. (IN THIS SOLUTION, THE OPERABILITY WOULD BE LIMITED TO A 4" MAXIMUM OPENING, BY CODE.)
- REPLACE THE 115 WOOD FRAMED WINDOWS WITH A SINGLE HUNG ALUMINUM CLAD FRAMED WINDOW, SIMILAR TO ONE OF THE CONFIGURATIONS IN A HISTORICAL CONTEXT. (IN THIS SOLUTION, THE OPERABILITY WOULD BE LIMITED TO A 4" MAXIMUM OPENING, BY CODE.)
- REPLACE THE 115 WOOD FRAMED WINDOWS WITH A VINYL FRAMED FIXED WINDOW, SIMILAR TO ONE OF THE CONFIGURATIONS IN A HISTORICAL CONTEXT.
- REPLACE THE 115 WOOD FRAMED WINDOWS WITH AN ALUMINUM CLAD FRAMED FIXED WINDOW, SIMILAR TO ONE OF THE CONFIGURATIONS IN A HISTORICAL CONTEXT.

We would appreciate your assistance in selecting the right window product for the LaSalle Hotel Window Renovation Project... a product that would be in character for the appropriate historical context, and aesthetic for this building and, to select the right materials/products to properly maintain a weather-tight building envelope.

In short, please take these observations from Winchester Architects into consideration while assisting our client, the LaSalle Hotel, to select the appropriate windows to properly weatherproof the building while, at the same time, maintaining the appropriate historical context.

Regards,

Wm. Brian Pollard
Project Manager, LaSalle Hotel Windows Renovations Project
Winchester Architects

ATTACHMENTS:

- **1-RTHLEasementApplicationCOMPLETED.pdf**
- **2-PinnacleAluminumCladDirectSetSPECS.pdf**
- **3-PinnicaleAluminumCladDirectSetDETAILS.pdf**
- **4-WindsorVinylDirectsetSPECS.pdf**
- **5-WindsorVinylDirectSetDETAILS.pdf**
- **6-Pinnacle-WindsorPRICEQUOTES.pdf**
(Refer to line item costs in 6-Pinnacle-WindsorPRICEQUOTES.pdf)

Cox, Gregory

From: McFeron, Marc W
Sent: Wednesday, October 14, 2020 10:25 AM
To: [REDACTED]
Cc: Cox, Gregory; Haynes, Randall
Subject: Inspection of La Salle 10-6-2020

Mr. Patel,

Greg Cox, Randy Haynes, and I inspected the La Salle Hotel 120 S Main on 10-6-2020. We found multiple items that are a concern and this list was developed to address them with you. Many of these items will need immediate attention and some will be able to be set on a schedule. Since the inspection through communication over the phone the day of the inspection, you have moved the Knox Box and removed several windows that were in severe condition. Any red highlighted items need immediate attention and may prevent occupancy. Any yellow highlighted items will need to be addressed within 2 weeks (10-28-2020) and other items will need further evaluation. In rooms that have had windows removed and glass or Plexiglas added, we need an evaluation of fall protection before occupants are allowed in these rooms. Any work done on the property will need appropriate permits/approvals before work is performed.

Exterior:

1. [REDACTED] - This needs to be corrected with the box that is at the office remounted to the main door on the exterior of the hotel.
2. West exit door- is rusting with sharp edges in areas where the metal is completely rusted through. This door is a required exit door and needs replacement.
3. [REDACTED] - mounting brackets on west end are loose and need to be remounted to support the gas line.
4. East entrance door- is not aligned correctly and needs to be repaired to prevent water from entering.
5. Roof access hatch- is broken and need to be repaired or replaced.
6. Doors on the roof structure- need to be replaced.
7. [REDACTED] - appear to be in various stages of decay including the first floor store front windows and need to be repaired or replaced. Some of them have panes that need to be removed and are a safety hazard. [REDACTED]
[REDACTED]. A licensed design professional (architect) will be required to evaluate the condition and replacement of the windows. You will need prior approval before replacement from the building department and the Bryan Historic Landmark Commission.
8. Steel lintels- above the windows are rusting and need to be sanded, primed, and painted.
9. Water tank- on the roof is rusted through in several areas and the wood supports under the tank are rotting. This needs to be evaluated for stability, repaired, or removed. If the tank is kept it will need a licensed design professional (engineer) to sign off on the repair with approval of the building department and possibly from the Bryan Historic Landmark Commission.

Interior:

1. All the emergency lighting- in the hallways are having trouble and should be replaced with more reliable LED packs.
2. Stairway lighting- has some problems with the fluorescent lighting such as missing covers, partially working bulbs, non-working emergency lighting. Recommend installing more reliable lighting.
3. [REDACTED] There is storage located in multiple areas of the stairway especially on the first floor where flammable liquids and gas bottles are stored in the exit corridor to both protected stairways.

4. Fire alarm panel- missing installation and inspection tags. Need to reprogram the panel so that room smokes do not set off a general alarm. I have spoken with the alarm company and will follow up with them on this item.
5. Wood is rotting at many of the windows in the rooms due to the condition of the exterior windows. If the windows don't get repaired this damage will continue to occur and possibly cause greater structural damage.
6. Storage in boiler room- is very disorganized with limited access. A walkway should be maintained in this room.
7. [REDACTED] - This door is locked and a second exit is required from this space. This door needs to have panic hardware attached.

On 10-12-2020 I contacted Mr. Batson about the exit in 5 Knocks and the storage in the corridor on the first floor. He said he would get these items corrected. I will follow up on these items with Mr. Batson on 10-16-2020.

Please contact us if you have any questions.

Thank you,

Marc McFeron
Fire Marshal
Bryan Fire Department
414 Lawrence St
Bryan, TX 77801
979-209-5960

		Items	Status 10/14/20
	Exterior	No Knox Box at the entry	COMPLETED 10/7
		Replace West Exit Door	Awaiting Home Depot to come measure, order, install
		Re-Mount Brackets on Gas Line	Locating bucket truck, or long ladder
		Re-Align East Entrance Door	fix pending completion red and yellow items
		Repair Roof Access Hatch	Awaiting "Hydrolic Works" foreman to come measure and quote
		Replace Doors on Roof Structure	Awaiting Home Depot to come measure, order, install
		Repair or Replace All Windows That are a Safety Hazard	removed windows that can be hazardous, Randy is working directly with Architect on replacement solutions
		Sand, Prime, and Paint All Steel Lintels on Windows	pending completion of red and yellow items
		Repair or Remove Water Tank/Check for Stability	pending completion red and yellow items
	Interior	Replace Emergency Lighting with LED Packs	Ordered LED Packs, arrives 10/17
		Repair or Replace Stairway Lighting	STAIRWAY LIGHTS COMPLETED, have question for FM regarding covers
		Remove Flammable Liquids/Gas Bottles in Exit Corridor	COMPLETED 10/14
		Missing Tags on Fire Alarm Panel/Re-Program Panel	Missing Tags Replaced/Call to Impact About Reprogramming
		Repair Rotted Wood on the Windows	Quote being requested by Carpenter
		Organize Storage in Boiler Room/Maintenance Room	COMPLETED 10/14
		Panic Hardware to be Installed on 5 Knocks Exit Door	COMPLETED 10/13

		Items	Status 10/29/20
	Exterior	No Knox Box at the entry	COMPLETED 10/7
		Replace West Exit Door	PERMIT SUBMITTED and awaiting PRO-DESIGN to Install
		Re-Mount Brackets on Gas Line	A+ TREE SERVICE HAS COMMITTED TO 11/2 - Cited weather wind/safety concerns for not coming this week
		Re-Align East Entrance Door	FIXED BY PRO-DESIGN ON 10/27
		Repair Roof Access Hatch	PERMIT SUBMITTED and awaiting PRO-DESIGN to Install
		Replace Doors on Roof Structure	PERMIT SUBMITTED and awaiting PRO-DESIGN to Install
		Repair or Replace All Windows That are a Safety Hazard	MEASURED AT 10AM 10/27 - AWAITING REPORT FROM ARCHITECT AND KING WINDOW, NEXT STEP WILL BE TO PRODUCE A SINGLE MOCK UP
		Sand, Prime, and Paint All Steel Lintels on Windows	pending completion of red and yellow items
		Repair or Remove Water Tank/Check for Stability	pending completion red and yellow items
	Interior	Replace Emergency Lighting with LED Packs	ROOM HALLWAYS COMPLETED 10/20 + 10/21, ELECTRICIAN COMING 10/22 FOR LOBBY INSTALL
		Repair or Replace Stairway Lighting	ORDER PLACED 10/29, Greg/Marc approved on 10/26 meeting, next step is install
		Remove Flammable Liquids/Gas Bottles in Exit Corridor	COMPLETED 10/14
		Missing Tags on Fire Alarm Panel/Re-Program Panel	COMPLETED - IMPACT REPROGRAMMED PANEL 10/20
		Repair Rotted Wood on the Windows	MEASURED BY TRAVIS ROTH 10/26 - we are next on master carpenter's list pending completion of his current project, estimated start to be 2 weeks from now.
		Organize Storage in Boiler Room/Maintenance Room	COMPLETED 10/14
		Panic Hardware to be Installed on 5 Knocks Exit Door	COMPLETED 10/13

CITY OF BRYAN APPLICATION FOR BUILDING PERMIT

P.O. Box 1000 Bryan Texas 77805 * Phone: 979-209-5010 * Fax: 979-209-5035 * www.bryantx.gov

1. ADDRESS / LOCATION OF WORK: ADDRESS: <u>120 South Main</u> SUBDIVISION: PHASE: LOT: BLOCK:			2. DATE OF APPLICATION: <u>10/26/2020</u> PERMIT # (by city): WTR / SWR # (by city): PROPERTY R-NUMBER:		
3. PROPERTY OWNER INFORMATION NAME: <u>Janak Patel</u> ADDRESS: <u>120 South Main st</u> CITY/STATE/ZIP: <u>Bryan TX 77803</u> EMAIL: FAX: PHON: <u>816-309-9678</u>			4. GENERAL CONTRACTOR INFORMATION NAME: <u>Pro Design Construction</u> ADDRESS: <u>6391 Bethel Center Rd North Zulch TX 77872</u> CITY/STATE/ZIP: <u>North Zulch TX 77872</u> EMAIL: FAX: PHONE: <u>(979) 777-1228</u>		
5. ELECTRICIAN (Name & Phone #):		6. PLUMBER (Name & Phone #):		7. HVAC (Name & Phone #):	
8. ARCHITECT - If required by state or city ordinance (Name & Phone #):			9. ENGINEER - If required by state or city ordinance (Name and Phone #):		
10. CLASS OF WORK (Check the appropriate box):			Are you painting the exterior of a commercial building? <input type="checkbox"/> Yes <input type="checkbox"/> No		
Commercial: <input checked="" type="checkbox"/> Residential: <input type="checkbox"/> Remodel: <input type="checkbox"/> Addition: <input type="checkbox"/> Repair: <input type="checkbox"/> New Construction: <input type="checkbox"/> Demolition: <input type="checkbox"/>					
11. DESCRIPTION OF WORK: <u>replaced doors + install hydraulic lifts on roof access + add bottom windows trim</u>			Constructing Driveway in R.O.W.? <input type="checkbox"/> Present Use: Intended Use:		Will building be used as Detached Shared Housing? (Sec 130.34(q)) <input type="checkbox"/> Yes <input type="checkbox"/> No
12. Square feet of heated area: <input type="text"/>		13. # of Buildings:	16. # of Dwelling Units: <input type="text"/>		19. Water Tap Size:
Square feet of unheated area: <input type="text"/>		14. Foundation Type:	# of bedrooms: <input type="text"/>		20. Sewer Tap Size:
Square feet total: <input type="text"/>		15. Number of floors:	17. Irrigation Tap Size:		21. Official Use Only- Misc. Fees: Long Tap Fee: D.&T. Fee: Work w/o Permit fee:
22. Estimated Valuation (Cost of Labor and Materials for project): <div style="border: 1px solid black; padding: 5px; display: inline-block;">\$ <u>2200.00</u></div>			18. Fire Line Tap Size:		
23. Total Permit Fee (Valuation + Tap Fees + Any Misc. Fees): <div style="border: 1px solid black; padding: 5px; display: inline-block;">\$</div>			<div style="border: 1px solid black; padding: 5px; display: inline-block;">REVISED 2-15-18</div>		



Submittal of the above information with a fully completed application is required to approve/issue the Permit in a timely manner. Omission of any information will cause the review to be delayed until the information is received. 2

CITY OF BRYAN APPLICATION FOR BUILDING PERMIT

P.O. Box 1000 Bryan Texas 77805 * Phone: 979-209-5010 * Fax: 979-209-5035 * www.bryantx.gov

Note: Please initial in the box adjacent to each statement to affirm that you have read, understand, and each of these requirements. **Applicant to sign bottom of this page.**

COMMERCIAL PERMIT CHECKLIST:

- TEXAS ACCESSIBILITY STANDARD (TAS) PROJECT REGISTRATION# EABPRJ _____
(For Commercial/Public projects with a cost of \$50,000 or more)
- Existing Commercial/Public buildings: Attach copy of Asbestos Survey. TDH Inspector's Name and License No.: _____
- I have complied with the City of Bryan Ordinances and State Law for Architect and Engineer requirements.
- I have complied with the Texas Engineering Practice Act which requires (but not limited to) the following: an engineer's seal for heights over two stories, square footage in excess of 5,000 square feet of foundation, spans longer than 24 feet, and state requirements for engineered structural, mechanical, electrical, and plumbing systems.
- I understand that new commercial and some existing commercial site plans require separate review by City of Bryan Site Development Review Committee before a building permit can be issued.
- I have attached an electronic drawing file of all construction drawings and accompanying data to this application in Tiff format. Please submit all the pages within one TIFF file.
- I have attached one (1) complete set of required scaled and dimensioned plans and accompanying data (requirements listed below) to this permit application. (Requirements are for new and existing buildings - please include existing floor plan(s) for additions and renovations.
- I have read and have attached to this permit application all of the COMMERCIAL PLAN REQUIREMENTS listed below.
- I will comply with TCEQ (Texas Commission on Environmental Quality) requirements for storm water permits. This includes submitting NOI/CSN per SWP3. Refer to <http://www.tceq.state.tx.us/> or call 512/239-1000.

COMMERCIAL PLAN Requirements (1 copy + digital):

- Site Plan or Civil Plan and details
- Foundation Plan and Details
- Floor Plan and Details
- Structural plans and details (framing, etc)
- Mechanical Plans and Details
- Electrical Plan and Details
- Plumbing Plan and details
- Exterior Building Elevations, Roof Plan
- Energy code compliance information; Rescheck, Comcheck, or compliance by default tables of Chapter 8 (Commercial) of International Energy Conservation Code. Include square footages of gross wall areas and gross glazing areas on plans. www.energycodes.gov

Note: Please allow two weeks for full plan reviews and building permit issuance.

Call before you dig! (1-800-344-8377) Free Service!

Applicant Printed Name: Janak Patel

Applicant Signature: [Signature]

Date: 12/20/20

Official Use: (do not issue permit unless signed by plans examiner)

Plans Examiner Signature: _____

Development Coordinator approval: _____

Plan Review Attached: Yes No

Plan Review Comments in H.T.E.: Yes No

Approved Date: _____

THANK YOU!

Revised 2-15-18

RESIDENTIAL PERMIT CHECKLIST:

- Residential site plan requires submission of City of Bryan Residential Site Plan Application. Residential Site Plan shall be 8 1/2"x11" format. Locate and dimension driveways, building setbacks, property lines, label overall dimensions of all structures on the site.
 - I have read and have attached to this permit application all of the RESIDENTIAL PLAN REQUIREMENTS listed below.
- I will comply with TCEQ (Texas Commission on Environmental Quality) requirements for storm water permits. This includes submitting NOI/CSN per SWP3. Refer to <http://www.tceq.state.tx.us/> or CALL 512/239-1000.

RESIDENTIAL PLAN Requirements (2 copies):

- Site Plan - 8-1/2"x11" format
- Foundation Plan and Details
- Floor Plan and Details
- Structural plans and details (framing, etc)
- Narrow wall bracing and exterior sheathing notes
- Mechanical (HVAC) location of units noted
- Electrical switch and outlet plan
- Plumbing fixture locations noted
- Exterior Building Elevations, Roof Plan
- Energy code compliance information; Rescheck, Comcheck, or compliance by default tables of Chapter 5 (Residential) of International Energy Conservation Code. Include square footages of gross wall areas and gross glazing areas on plans. www.energycodes.gov
- Notice - foam insulation at attic ceiling requires ResCheck or other approved compliance software if less than 10" of foam.
- Copy of NOI/CSN (Notice of Intent) for new home construction

City of Bryan Codes and Amendments:

<https://www.bryantx.gov/2017codeupdates/>

All Applicants - Please Read:

1. The Permit issued for this application becomes null and void if work or construction authorized is not commenced within six months, or if construction work is suspended or abandoned for a period of one year at any time after work is commenced.
2. Revised construction plans to be submitted for city review and approval is required for any changes made after City of Bryan building permit issuance.
3. The Permittee or Applicant is responsible for compliance with Deed and/or HOA restrictions.

Submittal of the above information with a fully completed application is required to approve/issue the Permit in a timely manner. Omission of any information will cause the review to be delayed until the information is received. 3

Cox, Gregory

From: Cox, Gregory
Sent: Wednesday, November 11, 2020 3:20 PM
To: 'Janak Patel'; McFeron, Marc W
Subject: RE: Inspection of La Salle 10-6-2020
Attachments: Inspection of La Salle 10-6-2020

Thank you again Mr. Patel for getting these items done, in process, and sending the update.

I have a few questions:

1. Mark mentioned before in attached email that we needed evaluation for fall protection in the rooms that have had window sashes removed (see attached email). I believe it was communicated that these rooms are remaining unoccupied? If so can you verify that they are remaining unoccupied? Do you have a list of affected rooms you can share? I count about 29 windows where sashes have been removed. If they need to be occupied an Architect would need to evaluate these interior windows and come up with a plan for guard rail protection. The window sills are below the 42" guardrail height, and with the interior glass not being a certified window unit the concern for safety is high.
2. I spoke with Brian at Winchester Architects who confirmed they are working on the proposal for window replacement. I failed to get a time line on when he would have that ready. Do you have a timeline of when they will have the proposal in for state and city, and then a timeline / estimate for window replacement?
3. On stair way light fixture replacement, city ordinance does require an electrical permit and licensed electrical contractor for this – we spoke about this at last site visit. The guys there at the time were not licensed to replace the stair lighting. Just friendly reminder to have qualified electrical contractor obtain the electrical permit with licensed electricians doing the change outs.

Please let me know if any questions.

Greg

From: Janak Patel [REDACTED]
Sent: Tuesday, November 10, 2020 2:58 PM
To: Cox, Gregory <gcox@bryantx.gov>; McFeron, Marc W <mmcferon@bryantx.gov>
Subject: Re: Inspection of La Salle 10-6-2020

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

Notice: EXTERNAL EMAIL! Phishing = #1 threat to Cyber Security. Is this a phishing email? – Look again!

Greg,

Thanks for your email.

- As of this past Saturday, work has already began on repairing rotten wood on bottom floor window frames.

- Winchester architects has made several site visits in the last 2 weeks and is preparing a report of their findings for upstairs windows to submit to State of Texas Historical Commission.

I have attached an updated Inspection Punch List. I will continue to update you on our weekly progress.

Thanks,

On Tue, Nov 10, 2020 at 11:36 AM Cox, Gregory <gcox@bryantx.gov> wrote:

Good morning Mr. Patel,

Any updates on the lower window repairs, and upper window repair/replacements?

Thanks,

Greg

From: Janak Patel <[REDACTED]>
Sent: Thursday, October 29, 2020 1:20 PM
To: Cox, Gregory <gcox@bryantx.gov>; McFeron, Marc W <mmcferon@bryantx.gov>; Haynes, Randall <rhaynes@bryantx.gov>
Cc: Lisa Gordon <[REDACTED]>; sam.barqueta1 <[REDACTED]>; LaSalle Hotel <[REDACTED]>
Subject: Re: Inspection of La Salle 10-6-2020

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

Notice: EXTERNAL EMAIL! Phishing = #1 threat to Cyber Security. Is this a phishing email? – Look again!

Greg/Marc/Randy,

Please see attached updated Inspection Punch List as of 10/29.

Greg - Also wanted to confirm you received our permit form on 10/26.

Please let me know if you have any questions. Thanks.

On Mon, Oct 26, 2020 at 1:36 PM Janak Patel <[REDACTED]> wrote:

Gentlemen,

Thanks for taking the time today to answer our questions.

I have attached a permit request. Please let me know if you have any questions. Thanks.

On Mon, Oct 26, 2020 at 8:54 AM Cox, Gregory <gcox@bryantx.gov> wrote:

Thanks, we will see you today at 11am

From: Janak Patel <[REDACTED]>

Sent: Thursday, October 22, 2020 11:35 AM

To: McFeron, Marc W <mmcferon@bryantx.gov>

Cc: Cox, Gregory <gcox@bryantx.gov>; Haynes, Randall <rhaynes@bryantx.gov>; Lisa Gordon <[REDACTED]>

Subject: Re: Inspection of La Salle 10-6-2020

Notice: EXTERNAL EMAIL! Phishing = #1 threat to Cyber Security. Is this a phishing email? – Look again!

Greg/Randy,

Yes thank you. 11am will work on Monday.

I just got off the phone with our Architect and we would like to apply for a permit to replace the window wood trim that has gone bad on some of the bottom floor windows as early as this weekend if permissible. This work will be performed by our Architect directly.

No windows will be replaced or moved nor will anything be modified aesthetically, including paint colors. This is mostly to replace bad wood with good wood.

If you would still like me to apply for a permit(or request historical approval) please direct me to the appropriate application and/or contact and I will be happy to do so. Thank you.

On Thu, Oct 22, 2020 at 10:26 AM McFeron, Marc W <mmcferon@bryantx.gov> wrote:

It will work for me Greg

Thank you,

Marc

From: Cox, Gregory <gcox@bryantx.gov>

Sent: Thursday, October 22, 2020 10:23 AM

To: 'Janak Patel' [REDACTED] McFeron, Marc W <mmcferon@bryantx.gov>

Cc: Haynes, Randall <rhaynes@bryantx.gov>; Lisa Gordon <[REDACTED]>

Subject: RE: Inspection of La Salle 10-6-2020

Good morning Mr. Patel,

Would Monday October 26 at 11am at Hotel work for everyone?

In addition to building permits for door and window replacements, window replacement and any other exterior changes would need HLC review and approval.

Thanks,

Greg

From: Janak Patel [REDACTED]
Sent: Thursday, October 22, 2020 8:58 AM
To: McFeron, Marc W <mmcferon@bryantx.gov>
Cc: Cox, Gregory <gcox@bryantx.gov>; Haynes, Randall <rhaynes@bryantx.gov>; Lisa Gordon [REDACTED]
Subject: Re: Inspection of La Salle 10-6-2020

Notice: EXTERNAL EMAIL! Phishing = #1 threat to Cyber Security. Is this a phishing email? – Look again!

Hi Greg,

If possible, my manager, Sylvia Morrison and I would like to schedule a phone call or meeting with you at the hotel. We would like to go over some possible solutions to overcome some of the hurdles we and vendors are facing in regards to:

- the stairwell emergency lighting
- bottom floor window trim replacement (and doors)
- vendor would like to schedule the replacement of a room window to get better idea of project scope and narrow down appropriate options

- use of bucket truck to tighten mounting brackets on gas line

Mainly, we would like your input so that we are within the bounds of the permit requirements before we start.

Thanks,

On Tue, Oct 20, 2020 at 10:16 AM McFeron, Marc W <mmcferon@bryantx.gov> wrote:

Thank you Jay

Marc

On Oct 20, 2020, at 9:56 AM, Janak Patel <[REDACTED]> wrote:

Notice: EXTERNAL EMAIL! Phishing = #1 threat to Cyber Security. Is this a phishing email? – Look again!

Hi Marc,

I am awaiting a couple of schedule/quote commitments to come thru soon from vendors. After I receive them, I should have an update within a day or two. Thanks.

On Wed, Oct 14, 2020 at 1:16 PM McFeron, Marc W <mmcferon@bryantx.gov> wrote:

Thank you Janak

From: Janak Patel <[REDACTED]>
Sent: Wednesday, October 14, 2020 11:19 AM
To: McFeron, Marc W <mmcferon@bryantx.gov>
Cc: Cox, Gregory <gcox@bryantx.gov>; Haynes, Randall <rhaynes@bryantx.gov>
Subject: Re: Inspection of La Salle 10-6-2020

Notice: EXTERNAL EMAIL! Phishing = #1 threat to Cyber Security. Is this a phishing email? – Look again!

Marc/Greg/Randy,

I have received your email. I will send an update later today of items that have been completed already as well as pending. Thank you.

Janak

On Wed, Oct 14, 2020 at 10:25 AM McFeron, Marc W <mmcferon@bryantx.gov> wrote:

Mr. Patel,

Greg Cox, Randy Haynes, and I inspected the La Salle Hotel 120 S Main on 10-6-2020. We found multiple items that are a concern and this list was developed to address them with you. Many of these items will need immediate attention and some will be able to be set on a schedule. Since the inspection through communication over the phone the day of the inspection, you have moved the Knox Box and removed several windows that were in severe condition. Any red highlighted items need immediate attention and may prevent occupancy. Any yellow highlighted items will need to be addressed within 2 weeks (10-28-2020) and other items will need further evaluation. In rooms that have had windows removed and glass or Plexiglas added, we need an evaluation of fall protection before occupants are allowed in these rooms. Any work done on the property will need appropriate permits/approvals before work is performed.

Exterior:

1. [REDACTED] - This needs to be corrected with the box that is at the office remounted to the main door on the exterior of the hotel.
2. West exit door- is rusting with sharp edges in areas where the metal is completely rusted through. This door is a required exit door and needs replacement.
3. [REDACTED] - mounting brackets on west end are loose and need to be remounted to support the gas line.
4. East entrance door- is not aligned correctly and needs to be repaired to prevent water from entering.
5. Roof access hatch- is broken and need to be repaired or replaced.
6. Doors on the roof structure- need to be replaced.
7. [REDACTED] - appear to be in various stages of decay including the first floor store front windows and need to be repaired or replaced. Some of them have panes that need to be removed and are a safety hazard. [REDACTED]
[REDACTED]. A licensed design professional (architect) will be required to evaluate the condition and replacement of the windows. You will need prior approval before replacement from the building department and the Bryan Historic Landmark Commission.
8. Steel lintels- above the windows are rusting and need to be sanded, primed, and painted.
9. Water tank- on the roof is rusted through in several areas and the wood supports under the tank are rotting. This needs to be evaluated for stability, repaired, or removed. If the tank is kept it will need a licensed design professional (engineer) to sign off on the repair with approval of the building department and possibly from the Bryan Historic Landmark Commission.

Interior:

1. All the emergency lighting- in the hallways are having trouble and should be replaced with more reliable LED packs.
2. Stairway lighting- has some problems with the fluorescent lighting such as missing covers, partially working bulbs, non-working emergency lighting. Recommend installing more reliable lighting.
3. [REDACTED] There is storage located in multiple areas of the stairway especially on the first floor where flammable liquids and gas bottles are stored in the exit corridor to both protected stairways.
4. Fire alarm panel- missing installation and inspection tags. Need to reprogram the panel so that room smokes do not set off a general alarm. I have spoken with the alarm company and will follow up with them on this item.
5. Wood is rotting at many of the windows in the rooms due to the condition of the exterior windows. If the windows don't get repaired this damage will continue to occur and possibly cause greater structural damage.

6. Storage in boiler room- is very disorganized with limited access. A walkway should be maintained in this room.
7. [REDACTED]- This door is locked and a second exit is required from this space. This door needs to have panic hardware attached.

On 10-12-2020 I contacted Mr. Batson about the exit in 5 Knocks and the storage in the corridor on the first floor. He said he would get these items corrected. I will follow up on these items with Mr. Batson on 10-16-2020.

Please contact us if you have any questions.

Thank you,

Marc McFeron

Fire Marshal

Bryan Fire Department

414 Lawrence St

Bryan, TX 77801

979-209-5960

--

Janak Patel

816-309-9678

Cox, Gregory

From: Cox, Gregory
Sent: Wednesday, November 18, 2020 11:13 AM
To: 'Nathan Winchester'
Cc: Haynes, Randall
Subject: LaSalle - 209

Nathan,

I have a few questions:

LaSalle:

Have you evaluated all the windows at Lasalle yet? Specifically for occupancy of all rooms? I discussed with owner yesterday about placing painted plywood temporarily over openings in the rooms (48-50" off floor) with windows missing sashes and advised we would need you to detail how that would be installed (fastened securely)

Any proposed timeline on window replacement yet, cost estimate?

209 N Main:

We will have our contractor remove the wood canopy over city sidewalk soon, any updates on that project?

Thanks,

Gregory S. Cox, CBO
Chief Building Official
Development Services, City of Bryan
www.bryantx.gov
gcox@bryantx.gov
979-209-5031 office
979-209-5035 fax

		Items	Status 10/29/20
	Exterior	No Knox Box at the entry	COMPLETED 10/7
		Replace West Exit Door	COMPLETED 11/9
		Re-Mount Brackets on Gas Line	COMPLETED 11/2
		Re-Align East Entrance Door	COMPLETED - FIXED BY PRO-DESIGN ON 10/27
		Repair Roof Access Hatch	COMPLETED 11/9 (hydrolics adding new chain 11/10)
		Replace Doors on Roof Structure	COMPLETED 11/9
		Repair or Replace All Windows That are a Safety Hazard	Nathan was finally able touch base with Randy this week. Began process with Christina Rieth of Texas Historical Commission on 11/19 regarding application. She informed me that it is about a 60 day review process.
		Sand, Prime, and Paint All Steel Lintels on Windows	pending completion red and yellow items
		Repair or Remove Water Tank/Check for Stability	pending completion red and yellow items
	Interior	Replace Emergency Lighting with LED Packs	ROOM HALLWAYS COMPLETED 10/20 + 10/21, ELECTRICIAN COMING 10/22 FOR LOBBY INSTALL
		Repair or Replace Stairway Lighting	51 Frog Emergency lights are here, LED strip lights are backordered and will not ship until end of this month. Will be applying for electrical permit after recieved.
		Remove Flammable Liquids/Gas Bottles in Exit Corridor	COMPLETED 10/14
		Missing Tags on Fire Alarm Panel/Re-Program Panel	COMPLETED - IMPACT REPROGRAMMED PANEL 10/20
		Repair Rotted Wood on the Windows	BEGAN ON 9/7 - WORK IS PROGRESSING EVERY WEEKEND PER MASTER CARPENTER'S SCHEDULE
		Organize Storage in Boiler Room/Maintenance Room	COMPLETED 10/14
		Panic Hardware to be Installed on 5 Knocks Exit Door	COMPLETED 10/13

Cox, Gregory

From: Cox, Gregory
Sent: Friday, November 20, 2020 12:23 PM
To: 'Janak Patel'
Cc: Haynes, Randall; McFeron, Marc W
Subject: RE: LaSalle Inspection Punch List as of 11/19/20

Good morning Mr. Patel.

Thank you for keeping us updated. Looking over everything this week, here are my notes and what city still needs to see:

1. City will need a timeline, cost estimate, and plan from architect on window replacement. I think Nathan has evaluated all the guest room windows and will be submitting that report to the city soon. We need to make sure architect gives ok for use of any rooms where sashes have not been removed. City is concerned on windows, safety issues with low window sills, potential of other windows falling out.
2. We discussed a proposal needed from architect on a temporary guard rail placed in guest room windows where sashes have been removed for fall protection, and approval of that before reuse of affected guest rooms.
3. Permit for door replacement and first floor wood store front window repair was issued yesterday.
4. Looking at other past permits this week, the bar in the basement 2018 permit is expired without a building final and without a Certificate of Occupancy being issued. This was permit 18-2603 and Jimmy Wright was listed as contractor. We need to come back again in the next couple of weeks to inspect the bar closer to see if any other permits are needed (plumbing/electrical) or if we just need Mr. Wright to renew the permit so city can issue the Certificate of Occupancy.
5. Steel lintels above all windows need sanding, priming, and painting. If these are allowed to continue to rust, they will expand and cause cracking in brick mortar, some may have already reached this point.
6. Old water tank on roof does not appear to be anchored and wood deck it is sitting on is deteriorating. Tank has rust holes. I know you still have this on your list but need to know what your plan is for removal or have engineer look at it to make sure it is safe.
7. Electrician needs to pull permit for light fixture replacement in stairways and check emergency lights already replaced. Understand you are waiting on fixture products to come in.

You will be receiving notices in the mail soon about a January 25, 2021 Building and Standards Commission meeting with the purpose of making sure the structure is safe for occupancy, the public is protected, and establishing a timeline for repairs to be completed. The city will need all cost estimates, plans, and timeline to complete all remaining work. The cost estimates, plans and timeline should be submitted as soon as possible but not later than January 4, 2021.

Please call or email if any questions.

Sincerely,

Greg Cox
979-209-5031

From: Janak Patel [REDACTED]
Sent: Thursday, November 19, 2020 2:59 PM
To: Cox, Gregory <gcox@bryantx.gov>; McFeron, Marc W <mmcferon@bryantx.gov>; Haynes, Randall

<rhaynes@bryantx.gov>

Subject: LaSalle Inspection Punch List as of 11/19/20

Mimecast Attachment Protection has deemed this file to be safe, but always exercise caution when opening files.

Notice: EXTERNAL EMAIL! Phishing = #1 threat to Cyber Security. Is this a phishing email? – Look again!

Greg/Marc/Randy

Please see attached inspection punch list status updates. Please let me know if you have any questions. Thanks.

--

Janak Patel

816-309-9678



Cox, Gregory

From: Janak Patel <[REDACTED]>
Sent: Tuesday, November 24, 2020 4:07 PM
To: Cox, Gregory; LaSalle Hotel; Haynes, Randall; McFeron, Marc W; sam.barqueta1
Subject: Fwd: FW: LaSalle Inspection Punch List as of 11/19/20

Notice: EXTERNAL EMAIL! Phishing = #1 threat to Cyber Security. Is this a phishing email? – Look again!

Greg,

Please see the Architect's comments below. Thanks.

----- Forwarded message -----

From: Brian Pollard <[REDACTED]>
Date: Tue, Nov 24, 2020 at 3:04 PM
Subject: FW: LaSalle Inspection Punch List as of 11/19/20
To: Janak Patel <[REDACTED]>
Cc: Nathan Winchester <[REDACTED]>

Hi Jay- My comments are below highlighted in RED.

----- Forwarded message -----

From: Cox, Gregory <gcox@bryantx.gov>
Date: Fri, Nov 20, 2020 at 12:22 PM
Subject: RE: LaSalle Inspection Punch List as of 11/19/20
To: Janak Patel <[REDACTED]>
Cc: Haynes, Randall <rhaynes@bryantx.gov>, McFeron, Marc W <mmcferon@bryantx.gov>

Good morning Mr. Patel.

Thank you for keeping us updated. Looking over everything this week, here are my notes and what city still needs to see:

1. City will need a timeline, cost estimate, and plan from architect on window replacement. I think Nathan has evaluated all the guest room windows and will be submitting that report to the city soon. We need to

make sure architect gives ok for use of any rooms where sashes have not been removed. City is concerned on windows, safety issues with low window sills, potential of other windows falling out.

I will be discussing material options with Christina Reith (hopefully tomorrow) Timeline, cost estimate, and plan is dependent on that discussion. I will touch base with you again tomorrow after my discussion with Ms. Reith.

2. We discussed a proposal needed from architect on a temporary guard rail placed in guest room windows where sashes have been removed for fall protection, and approval of that before reuse of affected guest rooms.

I will work on a design with drawings to show how to put the guardrails in place. (The focus of the design is to minimize damage/repair when removing the guardrail, upon replacing the window during the window project.)

3. Permit for door replacement and first floor wood store front window repair was issued yesterday.

I saw the permit posted on the front of the building the other day!

4. Looking at other past permits this week, the bar in the basement 2018 permit is expired without a building final and without a Certificate of Occupancy being issued. This was permit 18-2603 and Jimmy Wright was listed as contractor. We need to come back again in the next couple of weeks to inspect the bar closer to see if any other permits are needed (plumbing/electrical) or if we just need Mr. Wright to renew the permit so city can issue the Certificate of Occupancy.

Since Dustin Batson had the contract with Jimmy Wright, we need to get with Dustin to see about contacting Mr. Wright, and coordinate with them getting the permit renewed. When the permit is renewed we can then get any inspections required to get the Certificate of Occupancy.

5. Steel lintels above all windows need sanding, priming, and painting. If these are allowed to continue to rust, they will expand and cause cracking in brick mortar, some may have already reached this point.

We will add this to the scope of the window replacement project. It would be easiest to get to the lintels after removing the window and frame as part of the window replacement project.

6. Old water tank on roof does not appear to be anchored and wood deck it is sitting on is deteriorating. Tank has rust holes. I know you still have this on your list but need to know what your plan is for removal or have engineer look at it to make sure it is safe.

I will get with a structural engineer to give us a consult on this topic. It would seem that the city would actually prefer to leave it in place, (secure it safely of course), as it adds to the historical aspect of the hotel.

7. Electrician needs to pull permit for light fixture replacement in stairways and check emergency lights already replaced. Understand you are waiting on fixture products to come in.

Make sure there is a permit pulled and displayed appropriately. Ask the electrician to display the permit in the front window near the existing door/window permit in comment "3." above.

You will be receiving notices in the mail soon about a January 25, 2021 Building and Standards Commission meeting with the purpose of making sure the structure is safe for occupancy, the public is protected, and establishing a timeline for repairs to be completed. The city will need all cost estimates, plans, and timeline to

complete all remaining work. The cost estimates, plans and timeline should be submitted as soon as possible but not later than January 4, 2021.

Please be sure and include me and Cindy Hessong in these communications. That way I can be more expedient and provide the appropriate documentation.

Please call or email if any questions.

Sincerely,

Greg Cox

979-209-5031

--

Janak Patel

816-309-9678



Cox, Gregory

From: Cox, Gregory
Sent: Thursday, December 3, 2020 1:13 PM
To: 'Nathan Winchester'
Subject: LaSalle
Attachments: Fwd: FW: LaSalle Inspection Punch List as of 11/19/20

Good morning Nathan,

Just checking on things with the hotel. Sorry we been missing each other.

As you may know we are scheduling 120 S. Main for January Building and Standards Commission hearing. The goal is to get estimates, plans, and timeline from owner to get all the windows repaired/replaced , and any other outstanding issues resolved.

I think you have surveyed all the guest room windows? We would like a report from you if that is the case. Hopefully with language that current guest rooms with the outer windows in place now are safe for occupancy?

Thanks,

Gregory S. Cox, CBO
Chief Building Official
Development Services, City of Bryan
www.bryantx.gov
gcox@bryantx.gov
979-209-5031 office
979-209-5035 fax

Cox, Gregory

From: Cox, Gregory
Sent: Saturday, December 12, 2020 10:15 AM
To: 'Brian Pollard'; Nathan Winchester
Subject: LaSalle windows 2015 IBC
Attachments: 2015 IBC.docx

Brian, here are my notes on windows and applicable code sections that I mentioned this past week.

We will be getting the two ASTM references this next week.

Greg

The concern is the interior site built plastic or glass panel. Does it meet code? I have attached the code sections I have found regarding windows. I spoke with a code consultant and he advised that ASTM F2090 was written for 10 story buildings and we should get a copy of that.

I don't see this standard referenced in code. I do see ASTM E 330 in 1709.5.2.

The attached article below references F2090.

Replacement windows if operable cannot open more than slightly less than 4" to prevent passage of a 4" sphere in a hotel occupancy.

https://www.astm.org/SNEWS/ND_2009/wilhelm_nd09.html

ASTM F 2090 looks to be \$58.00 on <https://www.astm.org/Standards/F2090.htm>.

ASTM E330 looks to be \$52 on <https://www.astm.org/Standards/E330.htm>.

2015 IBC

101.3 scope

116 unsafe structures

1403.2 Weather protection – exterior walls shall provide the building with a weather resistant exterior wall enclosure

1405.13 Exterior windows and doors – 1709.5 Windows and doors

1015 Guards

1015.4 opening limitations fall protection

1015.8 Window openings –

1709.5.2 Structural requirements for windows and doors - ASTM E 330 or ANSI/DASMA 108

Section 2403 – glazing requirements – 2403.2 glass supports -- requires licensed design professional

2015 IEBC

406 Fall protection

https://www.astm.org/SNEWS/ND_2009/wilhelm_nd09.html

Window Fall Prevention Devices

Three types of window fall prevention devices described in the F15.38 standards are:

- Fall prevention window guard — Device designed to fit into or onto a window to prevent a child from passing or falling through an open window. Typically mounted on the interior frame of the window and includes side frames fastened to the sides of a window frame and a plurality of spaced-apart, transverse, tubular, width-adjustable crosspiece elements to form a grid pattern between the side supports to prevent passage of a child.
- Window fall prevention screen — Screen device designed to fit into or onto a window to prevent a child from passing or falling through an open window. Typically mounted on the exterior surface/frame of a sliding style window and on the interior of a cranking style window and includes screening mesh or material and attachment mechanism(s) of sufficient strength to meet the performance requirements of this standard while preventing passage of a child.
- Window opening control device — Device that limits a window sash to be opened with normal operation of the sash such as to prohibit the free passage of a 4-in. (102-mm) diameter rigid sphere at the lowest opening portion of the window opening, with a release mechanism that shall allow the sash to be opened to a large opening area such as that required for emergency escape and rescue, and that automatically resets when a window is fully closed.

Cox, Gregory

From: Hancock, Megan
Sent: Tuesday, December 29, 2020 11:04 AM
To: Janak Patel
Cc: Cox, Gregory
Subject: RE: COB Notice to LaSalle dated 12/11/20
Attachments: LETTER FIRST 11-19-2020.pdf; LETTER MTG 12-17-2020.pdf; SURVEY CBO 11-18-2020.pdf; SURVEY FMO 11-18-2020.pdf; What to Submit Prior & Contractor Checklist Combined.pdf

Good morning Mr. Patel,

I only have two letters on file that I have sent: one dated 11-19-2020 and the other dated 12-17-2020. Both were sent to the address on Mueller. I have attached both here.

I have copied our Chief Building Official in case he may have sent you another type of letter on or near that date.

Also, I have attached the surveys and checklist that were included with the letters.

Thank you,

Megan Hancock, CAP
Development Services Technician
City of Bryan
979.209.5030

From: Janak Patel <jmpatel99@gmail.com>
Sent: Tuesday, December 29, 2020 10:55 AM
To: Hancock, Megan <mhancock@bryantx.gov>
Subject: COB Notice to LaSalle dated 12/11/20

Notice: EXTERNAL EMAIL! Phishing = #1 threat to Cyber Security. Is this a phishing email? – Look again!

Hi Megan,

Thanks for speaking to me earlier today regarding The LaSalle Hotel. I just received the latest letter dated 12/11/20. I wanted to ask if by chance you also had a digital version of this letter that you would be willing to share with me? If not, no worries.

Also, I noticed one of the addresses on the letter was outdated and I wanted to request if it could please be removed:

4600 Mueller Blvd. #3009
Austin, TX 78723

Thanks,

--

Janak Patel
816-309-9678

